

Planning Committee Dated: 1st November 2023

Summary List of Detailed Plans and Applications

Item:	1	Recommendation: Approved with Conditions
Application No:	DM/0524/23/FUL	
Application Type:	Full Application	
Application Site:	Land Adj 64 Chapel Road Habrough North East Lincolnshire	
Proposal:	Erection of four dwellings with associated works to include new access and parking	
Applicant:	Mr L Metcalf	
Case Officer:	Bethany Loring	

Item:	2	Recommendation: Approved with Conditions
Application No:	DM/0833/23/FUL	
Application Type:	Full Application	
Application Site:	68 Brighowgate Grimsby North East Lincolnshire DN32 0QW	
Proposal:	Change of use from a single dwelling to a house in multiple occupation, with repairs and redecorating to the exterior including formation of a secure cycle store	
Applicant:	Mr Oded Loulay	
Case Officer:	Bethany Loring	

	Recommendation: Refused
Item:	3
Application No:	DM/0235/23/FUL
Application Type:	Full Application
Application Site:	The Georgian House Main Road Barnoldby Le Beck North East Lincolnshire
Proposal:	Erection of 3 dwellings with associated works and alterations to existing vehicular and pedestrian access
Applicant:	Mr M Barford
Case Officer:	Bethany Loring

	Recommendation: Approved with Conditions
Item:	4
Application No:	DM/0303/23/FUL
Application Type:	Full Application
Application Site:	The Hope Centre Hope Street Grimsby North East Lincolnshire
Proposal:	Erect single storey independent living facility
Applicant:	Mr Andrew Brown
Case Officer:	Jonathan Cadd

	Recommendation: Approved with Conditions
Item:	5
Application No:	DM/0600/23/FULA
Application Type:	Accredit Agnt - Hseholder application
Application Site:	114 Humberston Fitties Humberston North East Lincolnshire DN36 4EZ
Proposal:	Demolish rear extension and shed, erect single storey extension to rear, alter existing chimney, replace all windows and doors including relocated entrance, installation of decking to rear, reclad existing walls and roof and erect detached garden store with decking
Applicant:	Mr and Mrs D. Stoker
Case Officer:	Bethany Loring

	Recommendation: Approved with Conditions
Item:	6
Application No:	DM/0171/23/FUL
Application Type:	Full Application
Application Site:	49 - 51 Market Street Cleethorpes North East Lincolnshire DN35 8LY
Proposal:	Change of use from C1 (hotel apartments) to C4 (HMO) at first and second floor and Change of use at ground floor from nightclub for use as 'Class E' - Shops, offices, cafes, restaurants
Applicant:	Mr William Drew
Case Officer:	Owen Toop

	Recommendation: Approved Conditions and signing of S106
Item:	7
Application No:	DM/0927/22/OUT
Application Type:	Outline Application
Application Site:	Land At The Former YMCA Peaks Lane Grimsby North East Lincolnshire
Proposal:	Outline application to create a care village to include a residential care home for the elderly (up to 80 bedrooms), intermediate care facility (up to 30 beds), independent living accommodation (up to 10 units) and ancillary facilities (all use class C2) with all matters reserved
Applicant:	DBS2 LLP
Case Officer:	Cheryl Jarvis

	Recommendation: Approved with Conditions
Item:	8
Application No:	DM/0300/23/FUL
Application Type:	Full Application
Application Site:	33 Humberston Avenue Humberston North East Lincolnshire DN36 4SW
Proposal:	Variation application of condition 8 (Approved Plans) as granted on DM/0858/16/FUL to amend the layout and appearance of dwellings
Applicant:	Mrs Alora Pungi
Case Officer:	Bethany Loring

PLANNING COMMITTEE - 1st November 2023

ITEM: 1 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0524/23/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Land Adj 64, Chapel Road, Habrough, North East Lincolnshire,

PROPOSAL: Erection of four dwellings with associated works to include new access and parking

APPLICANT:

Mr L Metcalf
C/O Agent
Unit 2 Cleethorpes Business Centre
Jackson Place, Humberston
Grimsby
North East Lincolnshire
DN36 4AS

AGENT:

Mr Dieter Nelson
Dieter Nelson Planning Consultancy
Unit 2, Cleethorpes Business Centre
Jackson Place, Wilton Road
Humberston
Grimsby
North East Lincolnshire
DN36 4AS

DEPOSITED: 1st June 2023

ACCEPTED: 2nd August 2023

TARGET DATE: 27th September 2023

PUBLICITY EXPIRY: 18th September 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 26th August 2023

CASE OFFICER: Bethany Loring

PROPOSAL

The application seeks to erect four dwellings with associated works to include new access and parking.

The application is brought to committee following a number of objections from neighbours and Habrough Parish Council.

SITE

The site sits on the corner of Chapel Road and West End Road in Habrough. The site is level and has several large poplar trees on the western boundary. The site has mixed treatments on the boundaries including hedging and some sections of fencing. The site is located within the development boundary for Habrough.

RELEVANT PLANNING HISTORY

DC/586/12/IMM - Erect two detached dwellings - Approved with Conditions

DM/0998/16/FUL - Erect two pairs of semi detached dwellings to include new access and parking - Approved with Conditions

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF5 - Delivering a sufficient supply of homes

NPPF12 - Achieving well designed places

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO33 - Flood risk

PO34 - Water management

PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

National Grid (Electricity and Gas) - No assets affected in this area.

Habrough Parish Council - Objects based on concerns relating to traffic safety issues, road condition, tree removal, drainage, amenities and street furniture, not in keeping and general size and location of the development.

Heritage Officer - No input required.

Civic Society - Objects based on concerns relating to site being too small for the development.

Drainage Officer - Sustainable drainage condition. No raising of ground levels or surface water run-off from the highway.

Environment Team - Hours of construction, CMP conditions and EV charging informative.

Trees & Woodlands Officer - No objection.

Highways Officer - Approval with access and CTMP conditions.

Neighbour Representations

Objections have been received from the following addresses broadly on the grounds of road safety, overdevelopment, flooding, design, parking, access, loss of privacy, overlooking, construction traffic, out of character, high density, not in-keeping, scale, size, ongoing development elsewhere, layout, landscaping, limited visibility, loss of light, historically neglected site, inadequate drainage provision, close proximity to neighbours and reference to previous permissions.

5 Chapel Road
Sunnyside Cottage, 8 Chapel Road
19 Chapel Road
35 Chapel Road
39 Chapel Road
54 Chapel Road
60 Chapel Road
62 Chapel Road (x4)
Annex, 66A Chapel Road
68 Chapel Road
1A Cravens Lane
5 Kesteven Court
13 Kesteven Court
6 Laurels Close (x2)
4 St Margarets Crescent (x2)
9 Station Road
42 West End Road (x2)
The Old Farmhouse (x2)

APPRAISAL

1. Principle of Development

The application site is located within the development area of Habrough, and as such policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) applies. The proposed development is for 4 dwellings on the site. The village offers a range of sustainable transport options including bus routes and a train station. It is considered that the proposed development would be in a sustainable location. It must also be noted that the site did benefit from planning permission for four dwellings on the site up until February 2020 when it expired.

According to policy 5, the proposal would be permitted on the condition that the development would not unduly affect the neighbours, adversely affect the general character and appearance of the neighbourhood or highways safety and amenity.

2. Impact on Neighbours

There have been a number of objections received from neighbours from the immediate vicinity as well as the wider village area of Habrough. All of these comments are noted and acknowledged.

The proposed development has been designed to mirror the scale of other dwellings in the area. The proposed units have been located on the site to try and reduce the potential impact on the neighbouring residential properties. 60 Chapel Road sits to the east of the site and is the closest neighbour; plot 4 would be 1.5 metres from the site boundary and 4.2 metres from the neighbours' side elevation. The side elevation, adjacent to this neighbour, does include a first-floor window however this would serve a bathroom and therefore would be obscurely glazed. A condition to secure this has been included. The rear elevation would include windows and a door into the property, but the orientation of the site means that the impact of these would be minimal. In terms of massing and dominance due to the position, layout, relationship with the neighbour and separation it is not considered that there will be an undue impact.

The other neighbouring properties are considered to be too far away from the proposed development to suffer any significant undue impact. These properties are appropriately screened and sufficiently separated.

It is therefore considered that the proposed development would not offer any significant harm to the neighbouring properties residential amenities in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

3. Impact on the Street Scene and Character of the Area

The proposed dwellings would be of a similar scale and mass to those in the surrounding area and have a cottage style appearance. In this sense they would therefore follow the existing character of the area. The site itself currently has a detrimental impact on the visual appearance of the street scene as it stands. It is overgrown and appears a natural infill plot in the street. The proposed dwellings are proposed to be rendered and painted,

this pallet of materials is common within the village and as such helps to maintain its character and appearance.

Some of the neighbours' comments refer to the loss of trees. The proposal demonstrates that the majority of the existing landscaping features would be retained with some pruning to the existing conifers to the northeast boundary. There has been reference to the removal of the Poplar trees and it is important to note that the site does not have any tree preservation orders. The Tree Officer confirms that there are no objections to the proposal as the site currently has little amenity value.

It is therefore considered that the proposed development would not harm the character and appearance of the street scene or the wider area in accordance with policies 5, 22 and 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

4. Highways Safety and Amenity

The proposed development would provide two off-street parking spaces per dwelling. It is recognised that the on-street parking directly outside of the site is restricted by double yellow lines but these cease a short way from the site. The issue of road safety and traffic has been highlighted in much of the comments received.

The Highways Officer has reviewed the proposed development and are content that the development would not offer any harm to the highway safety and amenity of the area. There would be reasonable visibility in both directions from each parking space. It must also be noted that the character of the area is that of a semi-rural village and although it is a 30mph zone, traffic will be slowing for the corner. The scheme has been considered by the Highways Road Safety Officer and a meeting with some residents has taken place with Highways Officers to discuss the concerns and the conclusion of the acceptability.

Having regard to the above it is considered that the proposed development would accord with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) in relation to highways safety and amenity.

5. Drainage and Flood Risk

Policy 34 of the Local Plan relates to water management within a site. The proposal includes an increase to the built form on the site and results in further appreciable alteration to the drainage or surface water drainage of the site. As such, the Council's Drainage Officer has requested details of surface water drainage methods which can be covered by a condition. Details relating to water reuse are required and this has been conditioned.

Therefore, it is considered that this would be in accordance with policies 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) and the guidance in section 14 of the NPPF 2021.

CONCLUSION

In conclusion, it is considered that the proposed development would not result in a detrimental impact to residential amenity, impact to the general character and appearance of the street scene and wider area or increase risk to highways safety and amenity.

Having regard to the above, it is recommended that planning permission is granted in accordance with policies 5, 22, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018), and sections 5 and 12 of the National Planning Policy Framework.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plan:

Site Location Plan, Block Plan, Proposed Floor Plans and Elevations and Vehicle Access Details - F3131-A1-01B

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

Development shall not begin until details of all external materials to be used in construction of the buildings have been submitted to and approved in writing by the Local Planning Authority. The development shall then commence in accordance with the approved details.

Reason

This condition is imposed in the interests of design considerations in the context of the existing buildings in order to comply with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

No development shall commence until a scheme for the provision of surface and foul water drainage has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be implemented in accordance with the approved details prior to any of the dwellings being occupied.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface and foul water disposal in accordance with Policy 5, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

Prior to the occupation of any dwelling, a scheme for water re-use to achieve an efficiency standard of 110 litres per person per day shall be submitted and approved in writing by the Local Planning Authority. Once approved, the dwellings shall be occupied in strict accordance with the agreed details.

Reason

In the interests of efficient water management and to accord with Policies 5 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(6) Condition

No construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents and ecology and in accordance with Policies 5 and 41 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

No works related to the development hereby approved shall begin until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation of the CMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. The proposed daily hours of operation during the construction period;
4. Details of on-site parking provision for construction related vehicles;
5. Details of on-site storage areas for materials and any construction compound, also relating to trees;

6. Details of expected delivery schedules and how this will be managed to eliminate waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required; and
7. Details of wheel washing facilities (locations, types).
8. Means of suppressing dust and noise.

Once approved, the CMP shall be adhered to at all times during construction.

Reason

To ensure adequate access facilities are provided during construction for highway safety reasons and to protect residential amenity to accord with Policy 5 and 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(8) Condition

Development shall not begin until details showing the location, layout, design and method of construction of the new and altered vehicular access, parking and manoeuvring space, including any necessary piping or culverting of any ditch or watercourse, have been submitted to and approved in writing by the Local Planning Authority, and before the development hereby permitted is brought into use the vehicular access, parking and manoeuvring space shall be constructed in accordance with those approved details and shall thereafter be so retained.

Reason

To ensure adequate parking and turning facilities are provided within the site for highway safety reasons in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(9) Condition

The window openings to first-floor side elevation, serving the bathrooms as identified on the floor plans, hereby approved shall be glazed in obscure glass only to an obscurity level of 3 or above as measured on the 'Pilkington Scale'. The windows shall not thereafter be altered in any way without the prior written approval of the Local Planning Authority.

Reason

In the interests of residential amenity to accord to policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33, 34 and 42.

2 Informative

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner by determining the application in a timely manner.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

4 Informative

For the avoidance of doubt this permission does not permit the raising of ground levels or permit water run-off onto the public highway.

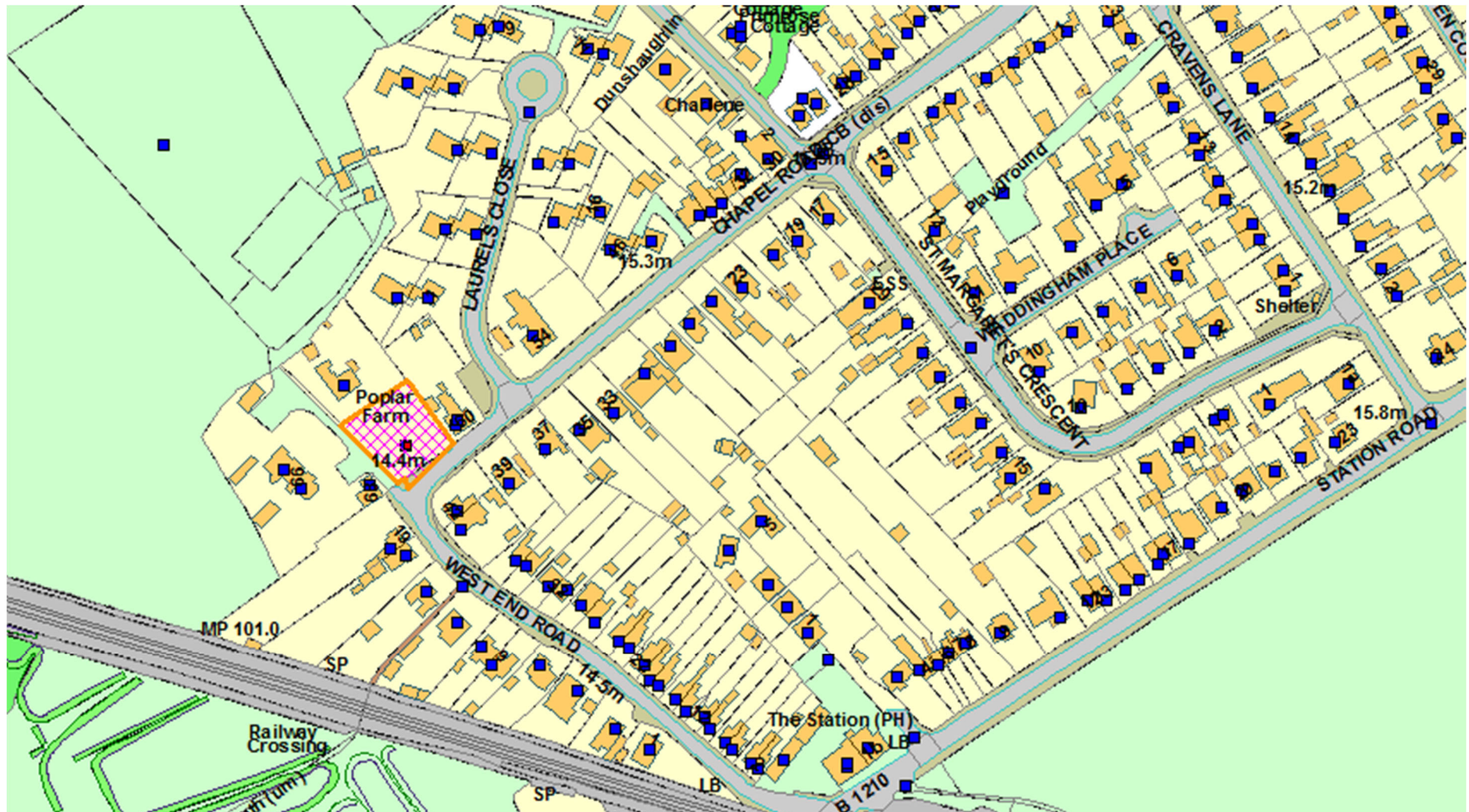
5 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

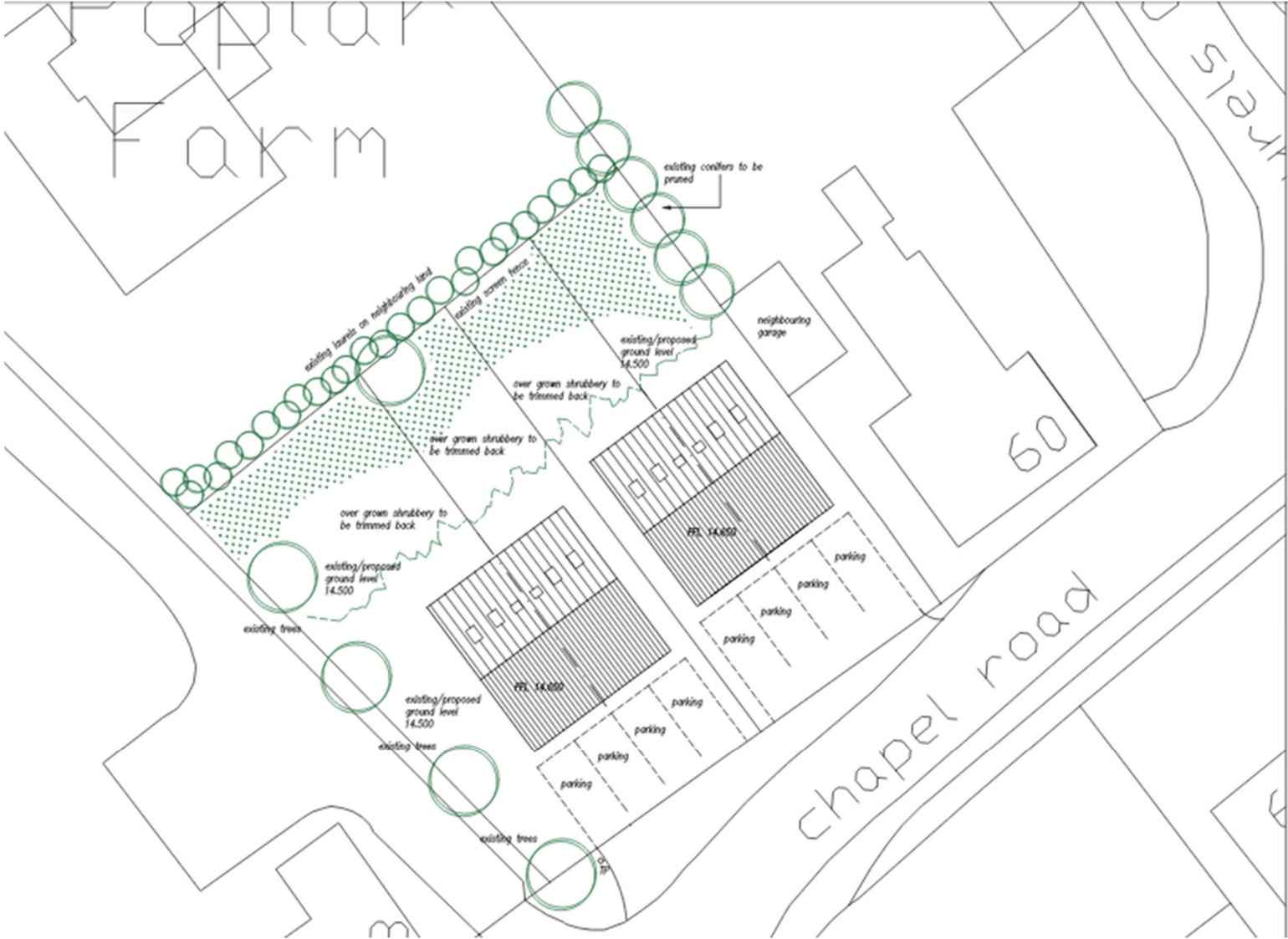
6 Informative

In accordance with Approved Document S of the Building Regulations you will be required to install electric vehicle charging points as part of the development.

DM/0524/23/FUL – LAND ADJ 64 CHAPEL ROAD, HABROUGH



DM/0524/23/FUL – LAND ADJ 64 CHAPEL ROAD, HABROUGH



PLANNING COMMITTEE - 1st November 2023

ITEM: 2 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0833/23/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: 68 Brighowgate, Grimsby, North East Lincolnshire, DN32 0QW

PROPOSAL: Change of use from a single dwelling to a house in multiple occupation, with repairs and redecorating to the exterior including formation of a secure cycle store.

APPLICANT:

Mr Oded Loulay
OA Homes Ltd
Office 35
78 Golders Green Road
London
NW11 8LN

AGENT:

Mr Matt Deakins
Ross Davy Associates
Pelham House
1 Grosvenor Street
Grimsby
DN32 0QH

DEPOSITED: 21st August 2023

ACCEPTED: 21st August 2023

TARGET DATE: 16th October 2023

PUBLICITY EXPIRY: 2nd October 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 2nd October 2023

CASE OFFICER: Bethany Loring

PROPOSAL

The application seeks to change the use from a single dwelling to a house in multiple occupation, with repairs and redecorating to the exterior including formation of a secure cycle store.

The application is brought to planning committee given the number of objections received.

SITE

The property is situated on the southwest side of Brighowgate in Grimsby and sits on the

junction with Bargate which is a main route into the town centre. The property is located to the end of the street and the area is made up of a mix of commercial and residential properties. The site sits within close proximity to Grimsby Town Centre with sustainable transport links close by.

RELEVANT PLANNING HISTORY

No relevant planning history.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF5 - Delivering a sufficient supply of homes
NPPF12 - Achieving well designed places
NPPF14 - Climate, flooding & coastal change
NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO39 - Conserve and enhance historic environ
PO5 - Development boundaries
PO22 - Good design in new developments
PO33 - Flood risk

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Civic Society - Objects due to inappropriate development and potential danger to road users, cyclists and pedestrians.

Environment Team - Hours of construction/demolition condition.

Drainage Team - No comments.

Highways Team - Approval no conditions.

Heritage Officer - Welcomes reuse of vacant property and supports application.

Housing Officer - HMO license required and room space standards to be met as well as waste management.

Neighbour Representation

Objections have been received from the following addresses broadly on the grounds of the type of potential tenants, anti-social behaviour, parking, increased traffic, noise and disturbance, concerns regarding number of tenants and communal areas, impacts on an area of historical importance, concerns relating to the amount of HMO's in the area, impact to the character of the area, lack of amenity space, overlooking, shadowing and loss of privacy.

11 Abbey Road
67 Abbey Road
77 Abbey Road
95 Abbey Road (x2)
101 Abbey Road
107 Abbey Road (x2)
111 Abbey Road (x3)
23 Brighowgate
54 Brighowgate
56 Brighowgate
64 Brighowgate
64D Brighowgate
64F Brighowgate
64G Brighowgate
4 Alfred Terrace
27 Bargate
Flat 3, 27 Bargate
62 Brighowgate
66 Brighowgate
10 Burley Avenue
77 Lansdowne Avenue
12 Manor Avenue
Flat 2, 14 Regent Gardens
43 St Ives Crescent
3 Southland Court
90 Woodhall Drive
5 Yarrow Road

APPRAISAL

Material Planning Considerations

1. Principle of Development

The application site is located within the development area of Grimsby, and as such policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) applies.

According to this policy, the proposal would be permitted on the condition that the development would not unduly affect the neighbours or adversely affect the general character and appearance of the area.

The principle of the development is acceptable in policy terms subject to an assessment of the site-specific impacts.

2. Design and Visual Impact on the Character of the Area

The application seeks to change the use of the existing single residential dwelling to an eight bed house in multiple occupation (HMO). The proposed change of use would include internal works and minor external repairs and redecorating only. A cycle store would be installed to the side with metal gates and railings.

The property is currently made up of residential accommodation which spans the ground, first and second floors to provide a large single dwelling. The change of use would create 8 separate residential rooms all with a self-contained shower room. Bedrooms 1 and 2 would be positioned to the ground floor, Bedrooms 3, 4 and 5 would be positioned to the first floor with Bedrooms 6, 7 and 8 to the second floor. A communal kitchen and dining area would be provided at the ground floor. New landings would be created, and the existing stairways utilised to provide access to each room with the existing hall adapted at the ground floor to suit. Each room meets the relevant space standards for sizing with all external arrangements to the building remaining as existing other than repairs where necessary. These repairs would include windows, doors, down pipes and roof tiles where needed and no full replacements would take place. As the site is within Wellow Conservation Area, this is supported and the minor physical works positioned to the side would be screened from view. The Heritage Officer supports the re-use of the building and the preservation of the building exterior.

Externally, a cycle store would be provided to the side to allow for bikes to be stored. The site benefits from an existing outbuilding which would be utilised as an external bin store. Furthermore, it has been confirmed that a private waste company would be appointed to manage bin collection as well as any excess waste.

The proposal would accord with policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 12 and 16 of the NPPF. The requirements under Section 72 of the Planning (Listed buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area also apply.

3. Highways and Parking

The site is situated within a sustainable location within close proximity to Grimsby Town Centre, reducing the need for occupants to rely on the car for travel. The scheme incorporates cycle storage therefore promoting the use of sustainable transport. Furthermore, there is limited on-street parking options available close to the site. The Highways Officer has raised no objections or concerns to the scheme on this basis.

Therefore, it is considered that the development accords with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in regards to highways and parking.

4. Impact on Neighbours

There have been a number of neighbour representations received during the planning process. The building is a semi-detached property positioned on the junction with Bargate. In terms of activity, the provision of an 8 bedroom HMO, would unlikely be overly intensive and can be accommodated without the property becoming overdeveloped. It is acknowledged that the comings and goings of the property would likely increase however this would not be considered unduly harmful due to it being retained for residential use. The layout of which would be similar to an existing house. Being in the urban area and close to the town centre, the amenity space provided to the side of the building would not be unusual, and local amenities and the town centre are within walking distance. All existing features, in terms of openings, are to remain and it is therefore considered that the concerns relating to overlooking, loss of privacy and overshadowing are not applicable given no physical build is proposed and existing openings remain.

The objections from neighbours are noted specifically those along Brighowgate, Bargate and Abbey Road. However, these are largely in relation to previous issues relating to anti-social behaviour, rubbish, and general nuisances with existing HMO's in the area. It is important to note that tenancy cannot be controlled by this department. It should also be noted that if approved, the site would still require a HMO license which is controlled through separate legislation. The other issues are also noted however these items, specifically relating to the conservation area, bin storage and parking, have been previously addressed in the report.

In terms of the amenities of future occupiers in addition to the existing neighbour, measures to reduce noise and disturbance can be achieved by incorporating soundproofing, which has been detailed on the proposed plans. This will be subject to Building Regulation Requirements.

The proposal would not unduly harm the amenities of existing or future occupiers, and accords with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

5. Flood Risk and Drainage

The site is located within flood zone 1 on the EA Flood Maps.

The proposal is for a change of use and is therefore not required to be subject to the application of a Sequential Test. The proposal does not increase the built form on the site and would not result in any appreciable alteration to the drainage or surface water drainage of the site.

The Drainage Officer has raised no comments in relation to the application.

As such, the proposal is considered to be acceptable in this respect in accordance with policies 5 and 33 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and the guidance in section 14 of the NPPF.

CONCLUSION

In conclusion, it is considered that the proposed development would not have a detrimental impact upon the character of the area, appearance of the street scene or the neighbouring properties amenities. It would accord with policies 5, 22, 33 and 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 5, 14 and 16 of the NPPF. The application is therefore recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan - RD5433-01

Proposed Block Plan and Elevations- RD5433-04

Proposed Floor Plans - RD5433-03A

Reason

For the avoidance of doubt and in order to comply with policies of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

No conversion work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents and in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

The bike store and bin stores as shown on the submitted plans shall be completed and available for use prior to any occupation, unless otherwise submitted to and approved in writing by the Local Planning Authority.

Reason

In the interests of waste management and sustainable travel and in accordance with policies 5 and 36 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33 and 39.

2 Informative

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner by determining the application in a timely manner.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2). All soundproofing shall be installed to the satisfaction of the Building Control Officer.

4 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

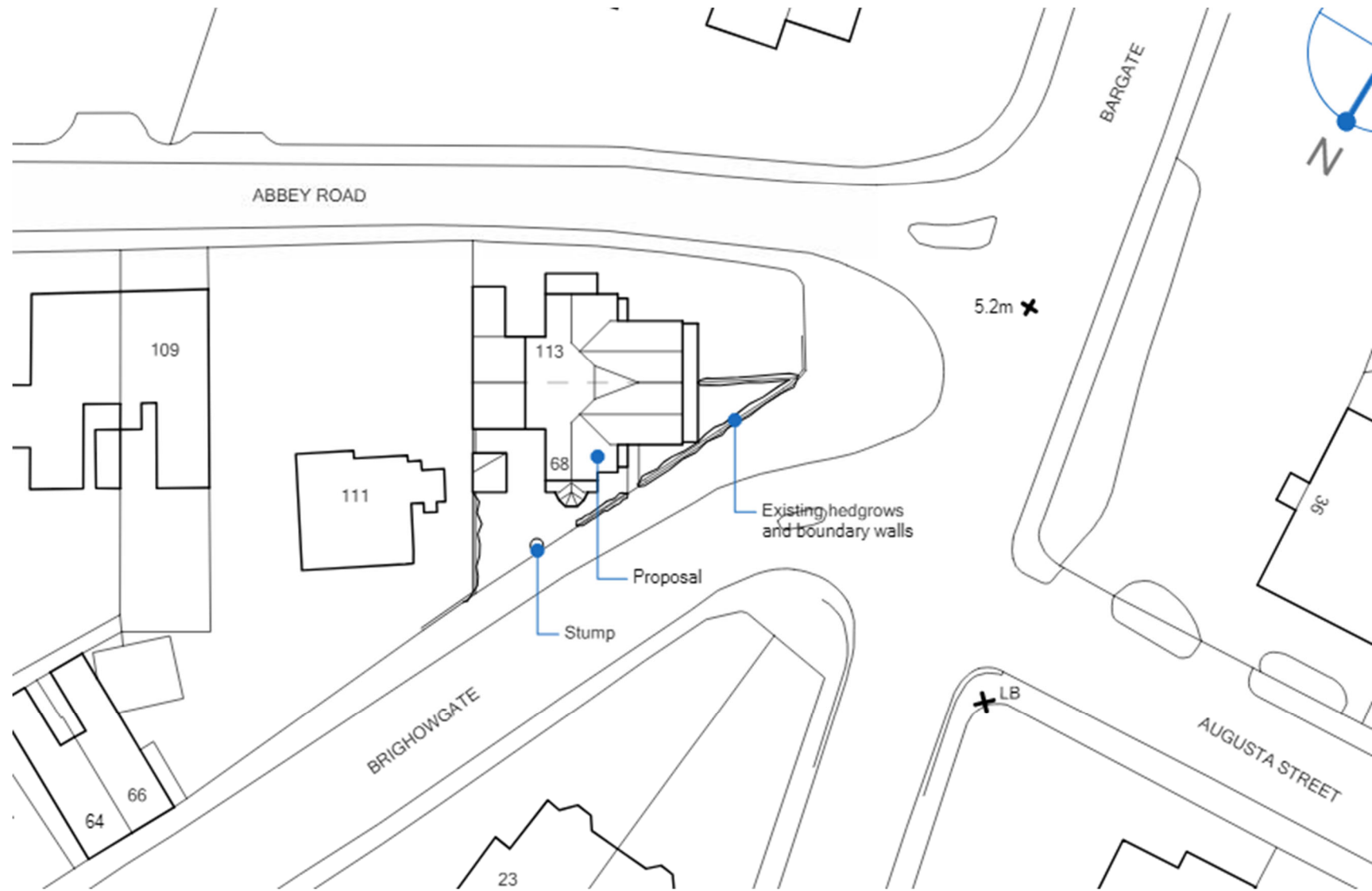
5 Informative

As the HMO will require a licence you are advised to the Councils Home Improvement Service on 01472 324756.

6 Informative

The applicant's attention is drawn to the fact that the requirements of the Party Wall Act may apply and you should seek advice from your agent or suitably qualified person.

DM/0833/23/FUL – 68 BRIGHOWGATE, GRIMSBY



PLANNING COMMITTEE - 1st November 2023

ITEM: 3 **RECOMMENDATION: Refused**

APPLICATION No: DM/0235/23/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: The Georgian House, Main Road, Barnoldby Le Beck, North East Lincolnshire, DN37 0AU

PROPOSAL: Erection of 3 dwellings with associated works and alterations to existing vehicular and pedestrian access

APPLICANT:

Mr M Barford
C/O For-Ward Planning Consultancy Limited
45 Newbridge Hill
Louth
LN11 0NQ

AGENT:

Mr Carl Forman
For-Ward Planning Consultancy Ltd
45 Newbridge Hill
Louth
LN11 0NQ

DEPOSITED: 13th March 2023

ACCEPTED: 14th March 2023

TARGET DATE: 9th May 2023

PUBLICITY EXPIRY: 23rd October 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 10th April 2023

CASE OFFICER: Bethany Loring

PROPOSAL

The application seeks to erect 3 dwellings with associated works and alterations to existing vehicular and pedestrian access.

The application is brought to committee following a call-in request from a ward councillor.

SITE

The site lies to the south of Waltham Road in Barnoldby Le Beck and is currently vacant open land which lies between various residential properties and provides some access points to these. The site includes a partially tarmacked drive, adjoining from Waltham Road, and then a more informal access track further down. A public right of way also lies

to the western boundary to provide pedestrian connectivity. The main central area of the site is grassland and around the edges of the site there are various forms of landscaping in the form of trees, hedges and drainage ditches.

RELEVANT PLANNING HISTORY

DM/0217/15/FUL - Erection of 4 eco dwellings, alterations to access drive and erection of timber piers to pond - Refused and Appeal Dismissed

DM/0379/22/OUT - Outline application to erect 7 dwellings with means of access and layout to be considered - Withdrawn

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF5 - Delivering a sufficient supply of homes

NPPF12 - Achieving well designed places

NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO2 - The housing requirement

PO3 - Settlement hierarchy

PO4 - Distribution of housing growth

PO5 - Development boundaries

PO22 - Good design in new developments

PO33 - Flood risk

PO34 - Water management

PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Barnoldby Le Beck Parish Council - Recommends refusal due to location outside of the development boundary and no shortage in housing supply, impacts to neighbours due to increased traffic, noise and impacts to privacy.

Highways Officer - Approval with CTMP condition.

Environment Team - Hours of construction and construction method statement conditions. EV charging informative.

Rights of Way Officer - Pedestrian passing places to be installed prior to development commencing.

Drainage Team - Sustainable drainage condition and no raising of ground levels.

Heritage Officer - Wintertree Software Inc. condition.

Trees & Woodlands - Landscaping and tree protection conditions.

Neighbour Representations

Lavender Barn, 4A Kingsfield Farm (x3) - Objects based on concerns relating to close proximity of development to the boundary, overlooking, loss of privacy, overshadowing, impacts to drainage and flood risk, increased traffic, over development, noise and light pollution and policy compliance.

Park Cottage, Main Road (x2) - Objects based on concerns relating to traffic and road safety, not in-keeping, overlooking and loss of privacy, ecological impacts, light and noise pollution, drainage and flood risk and bin storage.

Main Road - Objection in relation to misinformation.

The Georgian House, Main Road - Objects based on concerns relating to policy compliance, access, outside of the development boundary, proximity to exceptional dwelling, character, scale and layout.

Kingsfield Pond, Main Road - Objects based on concerns relating to being unallocated site, inadequate access, increased traffic and location of bin store.

Call in request from Councillor Hudson to allow for further debate on key planning issues and in the context of surrounding planning history.

APPRAISAL

1) Principle of Development and Impact on Character and Appearance

The North East Lincolnshire Local Plan 2013 - 2032 (adopted 22nd March 2018) NELLP seeks to promote sustainable residential development and meet the housing needs of the Borough. The locations and scale of development are directed through policies 3 and 4 and seeks to be commensurate to the scale, services, facilities within existing settlements (development area) and connections to the wider area. The settlement of Barnoldby Le

Beck (Policy 3 - Level 4 settlement) is a minor rural settlement which offers very few services and amenities. Policy 3 notes that future development should involve only limited infill, conversion and re-use of existing buildings with very limited further development.

The application site is located outside the development area of Barnoldby le Beck as defined by the NELLP. To the east, south and west is open countryside. As such, the proposal would be located within open countryside where development is generally restricted. Policies 3 and 4 of the NELLP don't justify general housing in the open countryside and such a proposal goes beyond what would be allowed for in a settlement of this nature. The proposal would be result in an unsustainable form of development.

The NPPF requires local planning authorities to provide a 5-year supply of housing land. The published position, April 2023 (North East Lincolnshire Five Year Housing Land Supply Assessment 2023 published in April 2023) is that NE Lincolnshire has 13.1 years' worth of deliverable housing sites and as such the tilted planning balance is not activated.

In terms of the designation in the North East Lincolnshire Local Plan (NELLP) the site is outside the defined development boundary and is therefore in open countryside. As stated Policies 3, 4 and 5 in the NELLP play a key role in defining the spatial strategy. Of these, Policy 5 says that development beyond a development boundary will only be supported where it recognises the distinctive open character, landscape quality and role these areas play in providing the individual settings for independent settlements, and where it falls under one of five criteria. These are rural diversification; development of local services and community facilities; leisure and tourism; affordable housing to meet specific local needs; or development specifically identified through a neighbourhood planning process.

The proposal for market dwellings would not meet any of the relevant criteria of Policy 5, and in this respect, there would be direct conflict with the spatial strategy of the development plan. As a matter of principle, the proposal does not accord with Policies 3, 4 and 5 of the NELLP.

In terms of the visual impact the proposal would extend into the rural landscape beyond Barnoldby le Beck resulting in a visual intrusion which would be detrimental to the character and value of this countryside location. The openness of this area, and its relationship to the land adjoining this would be adversely affected by the introduction of three dwellings, however they are designed, and the formalisation of what is essentially a rural access track and public right of way. Due to this extension into the rural landscape, the housing created would be more prominent when compared to the existing. The loss of the open land and its replacement with housing, would fail to have regard to the intrinsic character of this countryside location. What will be diminished is the sense of open countryside both visually and in terms of how the site and its surroundings are experienced. This will be more acute as the site is highly visible from an existing right of way.

2) Trees and Landscaping

The site is covered by a tree preservation order with several trees of different species protected by this order. An Arboricultural Report has been provided which states that four trees have been considered to be of high and medium quality and allocated as Category A and B with others of lower value and allocated as Category C.

The Trees and Woodlands Officer has reviewed the application and commented to state that previous concerns have been addressed and the development would not be detrimental to trees within the site. Conditions for a detailed landscaping scheme and tree protection plan could be included. The proposal is therefore in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) and the guidance in section 15 of the NPPF 2021 in this regard subject to conditions.

3) Highways and Public Right of Way

Access to the site would be taken from the private road, which adjoins Main Road, utilising the existing access point which can accommodate the required widths. It is important to note that the access currently serves 3 properties, Kingsfield Pond, Lavender Barn and Park Cottage, however for Lavender Barn this is a secondary access. The plans indicate that the access road would be widened, in places, to accommodate passing places and allow for the minimum width of 3.7 metres for emergency vehicles. This would also include a turning facility. In addition, a public right of way runs along the western side of the access road which is also indicated to be altered. This would be laid in limestone and include pedestrian refuge areas to allow for safe passing. A bin store area has been indicated to be placed close to the access point.

The Highways Officer has accepted the details and states that there are no objections following negotiations and further details being provided. Details relating to construction traffic management have been requested and could be conditioned. The Public Rights of Way Officer has also accepted the details following negotiations and amendments secured through the application process however has requested a condition to secure the passing places prior to commencement of the works which could also be included.

In relation to highways and rights of ways the proposal is considered to be in accordance with Policy 5 and 40 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

4) Drainage and Flood Risk

Policies 33 and 34 of the Local Plan relate to flood risk and water management within a site. The site is outside of areas of higher flood risk and is therefore acceptable in that sense. The proposal would include an increase to the built form on the site and result in further appreciable alteration to the drainage and surface water drainage of the site. As such, the Council's Drainage Officer has requested details of the surface water drainage method. This could be addressed by condition. In those terms the proposal is in accordance with Policies 33 and 34 of the North East Lincolnshire Local Plan 2013-2032

(adopted 2018) and the guidance in section 14 of the NPPF 2021.

5) Impact on Neighbouring Properties

Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) requires an assessment on the impact on neighbouring land, properties and users.

There have been some objections received from neighbours largely relating to policy compliance, overlooking and loss of privacy, traffic and road safety and overall design concerns. The scheme has been altered following concerns relating to design and relationship with neighbours. It is felt that these issues have now been addressed by the revisions of plot design, relocation and material changes. The comment from 4A Kingsfield Farm is noted however the redesign of Plot 2 is felt to adequately address the concerns by means of the position, scale and lack of rear openings to upper floors in this instance. There would be good separation from neighbours so as to ensure no undue impacts. Other matters relating to highways and trees are addressed in the relevant sections of the report. Bin storage could be adequately provided for. Issues relating to construction disturbance could be mitigated through the use of conditions as recommended by the Environmental Health Officer.

Having regard to the above it is considered that the proposal would accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in terms of neighbouring amenity.

6) Heritage and Conservation

The site is not within a Conservation Area and Listed Buildings are situated away from the site. The Heritage Officer has commented to state that the site forms part of the medieval settlement of Barnoldby le Beck and therefore recommends that should the development be approved a Written Scheme of Investigation would be required. This could be addressed through the use of a planning condition.

Having regard to the above it is considered that the proposal would accord with Policy 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

CONCLUSION

The site is located outside the development boundary and in an area of open countryside. Its development would have a detrimental impact on the rural character of the area and would not be a sustainable form of development. The proposal is not required to meet housing need within North East Lincolnshire and there is no justification for it. It is contrary to policies, 3 and 5 of the NELLP. The application is therefore recommended for refusal.

RECOMMENDATION

Refused

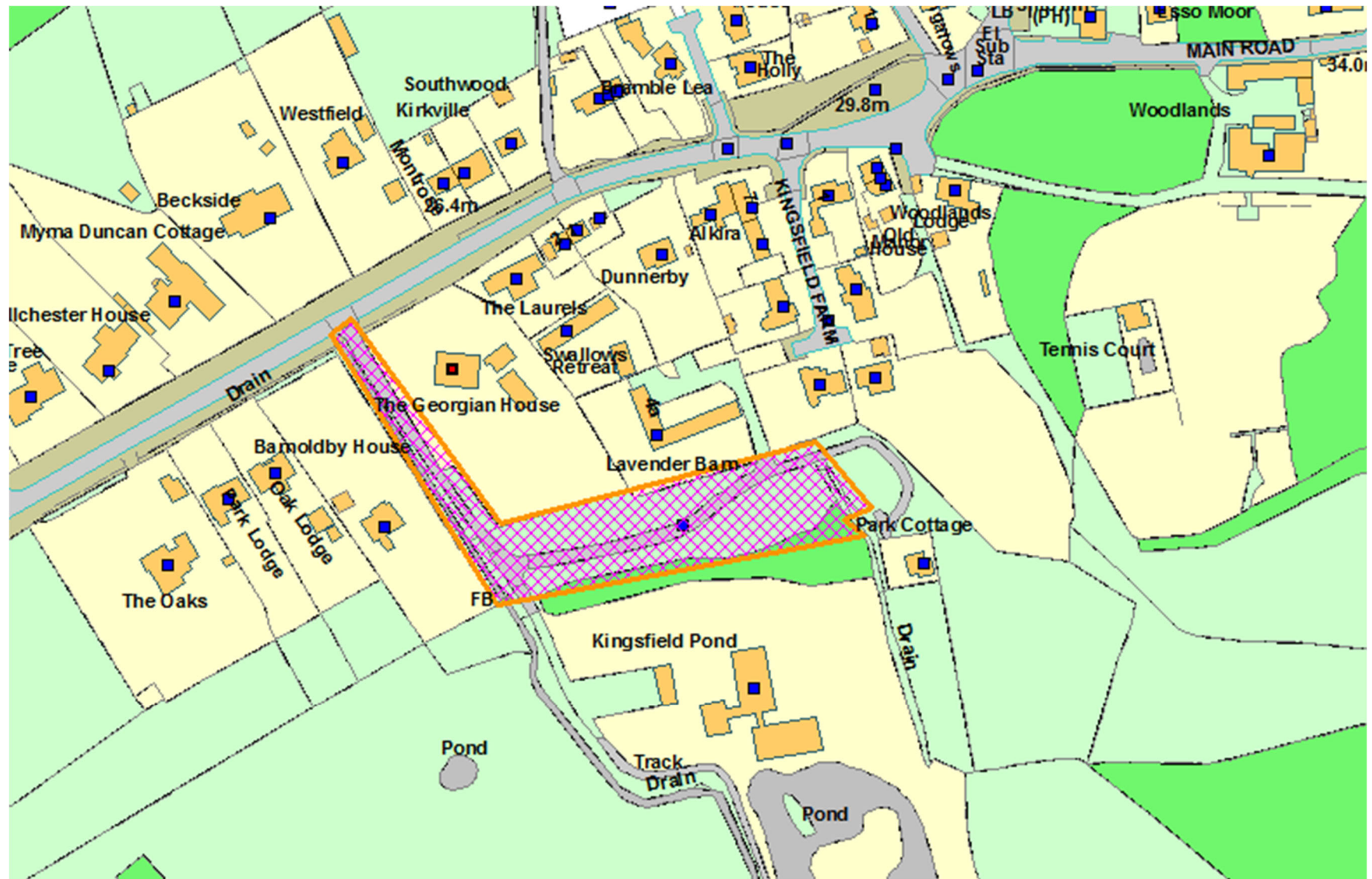
(1) The proposed development is located outside of the development boundary as established through the North East Lincolnshire Local Plan 2013 -2032 (adopted 2018) and shown upon the proposals map as within open countryside. The proposal is not supported by exceptional reasons to allow the development within the open countryside. North East Lincolnshire has more than a 5 year supply of housing land. As such the proposal is not required to meet housing need and its location extending into the open countryside causing visual harm through the physical build which would be highly visible to local receptors including users of the right of way and resulting in an unsustainable residential environment would be contrary to policies 3 and 5 of the North East Lincolnshire Local Plan 2013 -2032 (adopted 2018) and advice in the National Planning Policy Framework.

Informative

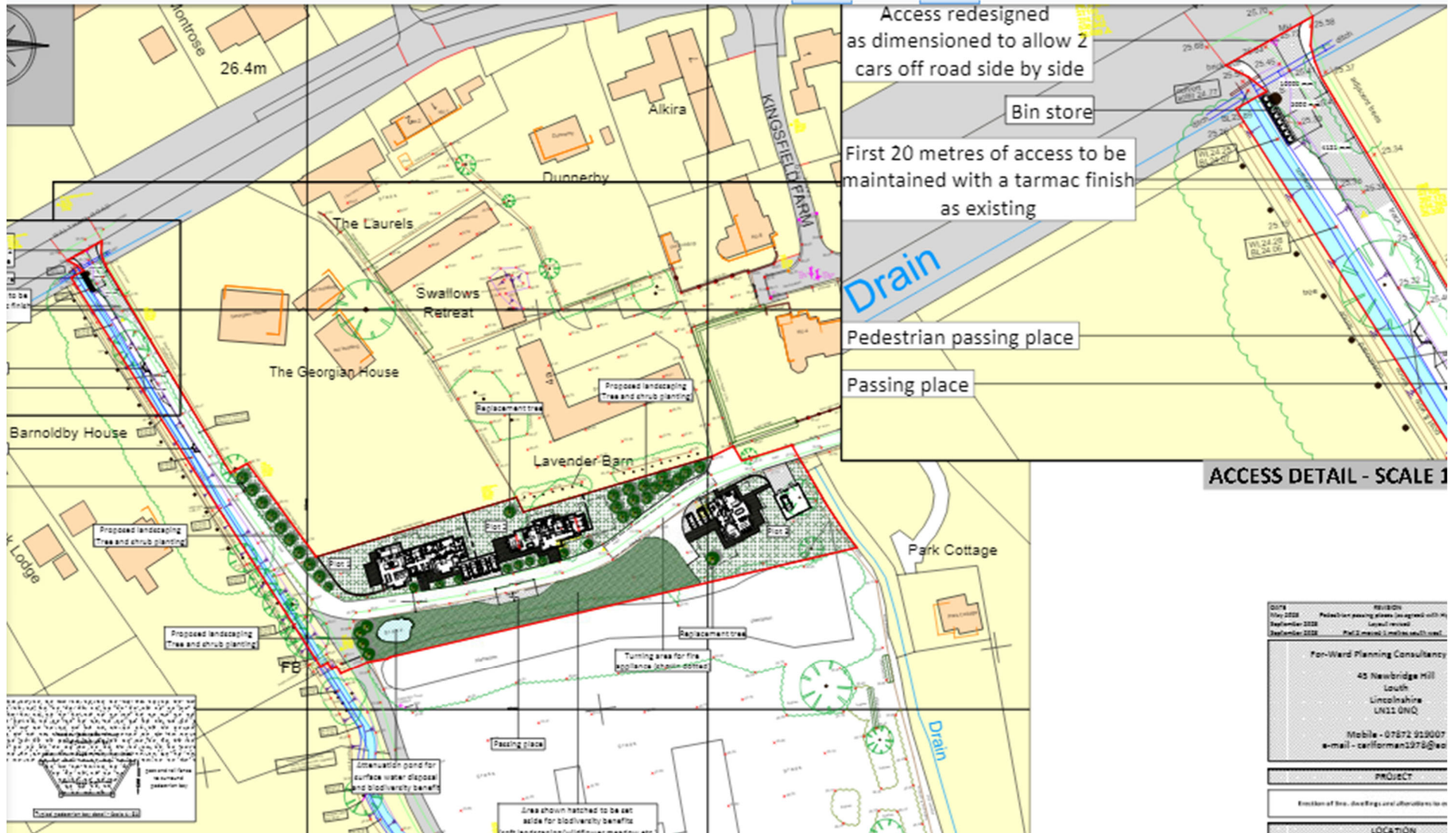
1 Informative

This application has been considered using the plans referenced 464-23-01, 464-23-02C, 464-23-03B, 464-23-04B, 464-23-05A, 464-23-06A and 464-23-07A.

DM/0235/23/FUL – THE GEORGIAN HOUSE, MAIN ROAD, BARNOLDBY LE BECK



DM/0235/23/FUL – THE GEORGIAN HOUSE, MAIN ROAD, BARNOLDBY LE BECK



PLANNING COMMITTEE - 1st November 2023

ITEM: 4 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0303/23/FUL

APPLICATION TYPE: Full Application

**APPLICATION SITE: The Hope Centre , Hope Street, Grimsby, North East
Lincolnshire, DN32 7QL**

PROPOSAL: Erect single storey independent living facility

APPLICANT:

Mr Andrew Brown
Harbour Place Grimsby
The Hope Centre
Hope Street
Grimsby
North East Lincolnshire
DN32 7QL

DEPOSITED: 3rd April 2023

AGENT:

Mrs Jo Hodson
Mother Architects
20 The Marketplace
Caistor
Market Rasen
LN7 6TU

ACCEPTED: 3rd April 2023

TARGET DATE: 29th May 2023

PUBLICITY EXPIRY: 15th June 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 27th April 2023

CASE OFFICER: Jonathan Cadd

PROPOSAL

This application seeks permission for a single storey detached building to form an additional move on facility to assist those found homeless within Grimsby. The building would be part placed within an existing landscaped area and part within a current car park at the site. Both areas currently form part of the Hope Centre, Hope Street, Grimsby.

This proposal seeks to create follow on accommodation for up to five people supporting them to gain the necessary skills to live independently. Occupants would live at the premise for the medium to longer term (from a minimum of 6 months to several years) whilst gaining the appropriate skills and mechanisms to be able to move successfully to their own accommodation. The building would include five bedrooms with en-suites but also a communal cooking and sitting room area. Whilst a separate building from the Hope

Centre, this accommodation would operate alongside the current activities at the centre and residents would benefit from this proximity. To support the proposed residents the roles of existing staff at Harbour Place already include on going support to clients including some in other accommodation so residents of this new building will each have an individually assigned support worker plus the support of a new Tenancy Sustainment Officer and other support works - both from Harbour Place and other partner agencies.

The building would be rectangular in shape, constructed of brick and with a pitched roof. This structure would be 10 metres by 16 metres and have a maximum height to ridge of 7.1 metres. To gain access for those with disabilities, an access ramp would be formed to the front of the building. Due to flood risk issues the building would be raised up by 1m with a further 0.3 metres protected from flooding. In addition, a small raised garden terrace area would be formed.

Members will recall that this application was deferred at the July 2023 Planning Committee so that further consultation could take place with members of the public, local ward members and the police. This has now taken place and the results of that meeting are outlined in the report. Originally the application had been brought to committee at the request of Councillors Aisthorpe and Beasant. The application is presented with additional information following from the public meeting. The recommendation and conditions remain largely as original presented in July.

SITE

The application site is within the grounds of the Hope Street Centre (part of the Harbour Place homeless charity) a night shelter and advice/ support centre (day centre) located on the junction of Hope Street and Oxford Street. The night shelter provides night only accommodation for the homeless, whilst the day centre provides support to those who are homeless but also clients at various stages of the process to becoming permanently housed and remaining as such. This includes support workers and specialist practitioners who assist client's in various fields.

Access to the site is from Hope Street/Oxford Street and parking is available both on site and to Hope Street. Limited restricted parking is also available to Oxford Street.

The area has a mixed character with the site adjoining the vacant Mariners Rest pub, being opposite the Casablanca Club, and the Hope St Medical Centre, a number of vacant sites and further to the southeast Hope House a flat complex formed from the former fisherman's mission hostel. Further to the south beyond another vacant plot are residential areas.

The site falls within the development area of Grimsby but is otherwise un designated within the NELLP.

The site is within flood zone 3.

RELEVANT PLANNING HISTORY

DM/0416/18/FUL Change of use from health centre (D1) to mixed use of a day centre (D1) and hostel/night shelter (Sui Generis). Approved 2018 - Conditions limiting overnight shelter for up to 15 occupants plus staff.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF5 - Delivering a sufficient supply of homes
NPPF8 - Promoting healthy and safe communities
NPPF11 - Making effective use of land
NPPF12 - Achieving well designed places
NPPF14 - Climate, flooding & coastal change
NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO41 - Biodiversity and Geodiversity
PO3 - Settlement hierarchy
PO4 - Distribution of housing growth
PO5 - Development boundaries
PO6 - Infrastructure
PO16 - Provision-elderly person's housing needs
PO22 - Good design in new developments
PO33 - Flood risk
PO34 - Water management
PO38 - Parking

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Cllrs Aisthorpe and Beasant: Request the application be considered by the planning committee due to claims of an increase in Anti Social Behaviour and other related issues since Harbour Place has been located here.

Heritage Officer: No input required.

Environment Agency: Do not object subject to flood risk condition but also recommend a Flood Warning and Evacuation Plan be agreed.

Highways: (in summary) Whilst recognising there will be a slight reduction in parking capacity it is unlikely to affect the safety and capacity of the surrounding road network due to the occupants being unlikely to have cars and levels of staff at the site. Also it is located in a moderately sustainable location reducing the likelihood of needing a car to access local amenities. Seeks, however, a construction traffic management plan.

Environmental Protection: Request working hours but also details of mechanical ventilation system to rooms facing the Mariners pub and 2.4m high acoustic fencing. Details of soundproofing are acceptable, however.

Drainage: Surface water drainage condition.

NE Lindsey Drainage Board: No comments.

Police: Support proposal, no issues to raise.

Site Notices/ Neighbours:

East Marsh United: Fully support the proposal. Given their interest in the neighbouring land, look forward to working with Harbour Place to benefit the local community.

1 Hope House, Hope Street
19 Hope House, Hope Street
Letter signed by 25 flats at Hope House.

Objections in summary

- Increase in noise.
- Increase in anti social behaviour following being kicked out of centre (sleep in neighbours doorways, abuse residents of Hope House, swear and use adjoining gardens).
- Drug use increase.
- Area is seen as just an area to place people with problems, trouble makers and drug dealers - too much this would not be tolerated in other areas.
- Vulnerable people live in surrounding area too, they are frightened to go out.

APPRAISAL

Main issues

- 1) Policy issues
- 2) Design and character

- 3) Residential amenity
- 4) Highway safety and parking
- 5) Drainage and flood risk

1) Policy issues

The application site is located within the development area of Grimsby and is deemed a suitable location for residential accommodation in accordance with policy 5 of the NELLP. The nature of the development is such that it provides a level of specialist medium to longer-term follow-on accommodation for five homeless people, as opposed to simple overnight accommodation, which Harbour Place provides now. In providing this accommodation, the residents will be given a level of training and support to assist them to develop skills needed to support a future independent life, reducing the likelihood of them becoming homeless again. Each resident would have a support worker to assist them. The intended residents could have suffered trauma, have dependency issues or mental health issues which make current accommodation options within the town less than suitable. The provision of specialist accommodation is dealt with through policy 16 of the NELLP, which although focusing on elderly accommodation, also deals with accommodation for those with specific needs. Policy 16, in particular looks for confirmation of the need for such accommodation. The level of use of the current Hope Street operation provides clear justification for its existence. In addition to this, the Council Plan 2023 - 2026 and the Health and Wellbeing Strategy 2020 (Final Draft) also outline the need for follow on accommodation to support the homeless within NE Lincolnshire.

The policy also requires an assessment of the impact of the use on the local environment and the character of the area to be undertaken. Such proposals should not result in an undue concentration of such provision within an area. This is one of the main concerns for objectors to the scheme. The impact on the surrounding area will be considered below in detail but it is not considered that the proposal would lead to an undue concentration of such uses in the local area as it provides a relatively small extension to an existing operation at the site but also, unlike the existing use, provides a more supported and longer term form of accommodation. So would not lead to extra people seeking accommodation each night, which forms another of the main areas of concern for local residents. Although not providing the same specific service to the homeless as the proposal, it is recognised that accommodation is located within the wider area (YMCA and Salvation Army) on Eleanor Street and Freeman Street for those found without accommodation. These facilities though are considered to be sufficient distance away from the site so as not to impact in combination with the immediate area of Oxford Street and Hope Street. As such subject to detailed consideration of the impact on the area, the use is considered to accord with policies: 3, 5 and 16 of the NELLP.

2) Design and character

The building proposed would be a traditional brick pitch roof building which would accord with the character of the current Hope Street centre. Its position forward of the building would not be out of character with the area and would sit roughly in line with the former

Mariners pub next door. The site boundary adjoining the Mariners pub includes a high wall/ fencing which would provide screening of the building should the pub reopen. Subject to approval of materials it is considered the proposal would adhere to policies: 5 and 22 of the NELLP.

3) Residential amenity

The site, as noted above, is located within a mixed used area where there are a number of vacant plots. The building would be located within part of the site currently used as a garden and car park. The closest neighbour would be the vacant Mariners pub to the west. This building is vacant and boarded up. It is now known that East Marsh United a community group are involved in this adjoining site, and it may reopen as a joint community hub but with a public house element. Details of this use are not yet known and nevertheless, the lawful use as a pub remains extant in planning terms, and it could therefore fully reopen. The area closest to the application site is used as the smoking area for the public house and could cause noise nuisance to future residents. The environmental protection officers have not raised an objection but have requested the rooms facing the pub be sound proofed and mechanically ventilated. At the time of writing details had been provided but the scheme of mechanical ventilation had not been agreed. Similarly, to protect the proposed amenity areas the boundary wall/ fence would be bolstered with acoustic 2.4m high fencing to further protect residents. Conditions are recommended along with ones to ensure that bathrooms are suitably obscure glazed.

At the last committee meeting the concerns of local residents were taken very seriously due to existing anti-social behaviour and criminal activity in the immediate area and the potential to exacerbate these issues through housing additional vulnerable people within the proposed unit. Issues raised centred upon homeless people congregating within Hope Street seeking accommodation for the night, antisocial behaviour, incidents of rough sleeping, verbal abuse and drug dealing/ taking within the immediate area.

Since the committee meeting the applicant has hosted an open forum with local residents, ward members, the police and representatives of NELC's anti-social behaviour team. This is intended to now be a regular event to allow issues to be resolved quickly. The first meeting led to a frank discussion of the issues. The applicant accepts that on occasion there have been incidents, because some clients have mental health and dependency issues. However, staff usually deal with these issues with police attendance only necessary once in 2023 so far. In addition to this, the police received 11 other 101 calls from Harbour Place, but these all related to incidents not connected to Harbour Place clients and were often made at the request of local neighbours. At the meeting it was identified that much of the drug dealing and ASB was not connected with Harbour Place clients and that unfortunately these issues are experienced across the wider East Marsh area. It was noted by Humberside Police that they haven't received any 101 calls from the Hope Street area in 2023 other than from Harbour Place. However, the charity accepts that there has been some disruption to the operation of the night shelter and day centre during the spring/ summer due to building works. Since July, it has already implemented several measures to reduce issues raised by neighbours as follows:

- Gates to the south east of the site onto Hope Street are permanently locked with all clients accessing the site from Oxford Street. This has reduced congregation of clients in Hope Street, and as clients get used to this it will eliminate this issue.
- Opaque glazing to Hope Street and southern courtyard replaced with clear glazing so staff can better monitor what is occurring in the street better.
- Daily litter picks (not general but needles and glass - to date no needles found).
- From 29th August the centre has opened earlier from 8:30pm, to reduce numbers of people waiting outside.

Further future works proposed include:

- Vegetation cut backs.
- CCTV up grade including additional cameras to periphery.
- Night shelter opening housing extended beyond 9pm to 7am so that the shelter will be available to clients all day.
- Co-ordinate and alter staff structures and rotas with concierge posts so that the centre will be manned by at least one person 24 hours a day.

These changes relate to the enhancement of the current operation of the day centre/ night shelter, which already has planning permission and as such cannot be required or conditioned. Nevertheless, many of these changes had been planned for some time as part of a programme for which funding was secured at the start of the year. Such measures were broadly supported at the meeting to assist to reduce issues generated.

It must be highlighted that the proposed unit is different in character to the night shelter in that it provides medium to longer term accommodation for 5 residents, not nightly emergency accommodation. As longer-term accommodation it would not therefore increase the number of people queuing each night for somewhere to sleep as its beds would not be available for nightly accommodation. Each resident would be assigned a support worker to assist them with issues encountered whether this be in relation to the challenges of day to day living and/or personal/ health issues. These roles would be covered through a re-evaluation of existing staff to accommodate these support duties currently operating plus one new Tenancy Sustainment officer. Whilst such roles would also assist with a multitude of support issues for example: how to manage money, cook, look after oneself and property and relationship advice required for day to day living. That worker, however, would also be required to liaise with outside specialists' dependant on the needs of the individual resident/ client. As such this would be bespoke and residents would either travel to get this assistance or specialists would visit the site. As much of this support is already available within the day centre this would not lead significant additional trips or visitors to Hope Street. As such these visits would be different for each resident so cannot be determined at this stage. On a practical note, the entrance to the unit would be from Oxford Street so that it would have a lesser impact on residents of Hope Street.

As follow on accommodation it would also support the aims of reducing numbers of people waiting for the night shelter by taking those most vulnerable and least easy to re-accommodate and supporting them until they are ready to be placed in permanent accommodation. The police have continued to support the proposal as a beneficial

measure to assist in the fight against homelessness within NE Lincolnshire. Similarly, residents have been encouraged to contact the police over drug dealing and anti-social behaviour.

It is considered that subject to conditions, the amenities of existing and future occupiers would not be adversely affected in accordance with policy 5 of the NELLP.

4) Highway safety and parking

The proposal would not include any additional access points to the highway and as such highway capacity and safety would be maintained in this respect. The proposed access ramp would, however, reduce down the area of the car park slightly to 12 spaces and would require cars to alter slightly their direction when entering and leaving the site. The access ramp and building, however, would not reduce access nor manoeuvrability to a significant degree. The highways team have not objected to the scheme, despite recognising there is a limited potential for increased on street parking, but this is not deemed to be a significant issue.

In terms of parking, future residents are unlikely to own vehicles and staff numbers are not expected to alter greatly (rather be spread out across the day rather than concentrated in the evening and night). Support works and specialist workers already operate at/ visit Harbour Place Hope Street so that other than the Tenancy Sustainment Officer there would be no increase in numbers of vehicles visiting during the day. Similarly, residents themselves could also be taken to visit specialist facilities away from the site reducing the requirement for visitors. As such it is considered that the existing spaces would be more than sufficient to meet demand.

The site is also close to numerous facilities and shops within walking distance including a medical centre, Aldi and Freeman Street Market aiding the ability of residents to live sustainably.

The proposal would accord with policies: 5, 36 and 38 of the NELLP in this regard.

5) Drainage and flood risk

The site is located within flood zone 3 and residential accommodation is classified as more vulnerable. In terms of the sequential test, the proposal would be connected to and share resources with the night shelter in terms of staff and various facilities. As such it cannot be desegregated and has to be located on this site. The sequential test is therefore passed. The applicant has raised floor levels to 1m above ground level with demountable boards allowing the development to be considered safe for the life time of the development in terms of flood risk. The Environment Agency has not objected to the scheme subject to the Flood Risk Assessment being implemented and a flood warning and evacuation plan being submitted and approved. As such the proposal would accord with policies: 5 and 33 of the NELLP.

The site would generate surface water drainage and as a result conditions are recommended to agree a sustainable drainage scheme. This accords with advice from

the drainage team and ensures compliance with policy 34 of the NELLP.

CONCLUSION

The proposed development would provide an additional residential facility for homeless people within Grimsby but in the form of medium to long term accommodation to assist a small number of more vulnerable occupants who would be unable to cope with independent living immediately enabling them to receive support and guidance to allow them to move on, in time, to private accommodation on their own. This type of accommodation is a known requirement in the borough.

The building would be adjacent to the current night shelter/ day centre and would share staff and some facilities. The design would not appear out of keeping with the area and subject to conditions re materials would accord with the character of the area.

Residential amenity of future occupants would be protected through noise mitigation measures and by association any future reopening of the adjoining pub. The amenity of existing occupiers and the issues raised by residents are noted but the scheme represents a different type of use to the current night shelter and indeed it is a small scale operation, so would have limited additional impacts on the area in terms of the issues raised.

Highway safety and parking would not be negatively impacted upon and the proposal would, subject to conditions, be deemed safe in terms of flood risk.

The proposal would therefore accord with policies: 5, 16, 22, 33, 34, 36 and 38 of the North East Lincolnshire Local Plan 2013 -2032 (adopted 2018).

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

Development shall not exceed damp course level until details of all external materials to be used in construction of the building have been submitted to and approved in writing by

the Local Planning Authority. The development shall thereafter be completed in accordance with the approved details.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area and in accordance with policies: 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

No development shall commence until a scheme for the provision of surface water drainage has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be implemented before the building is first brought into use.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal and in accordance with policies: 5 and 33 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

No machinery shall be operated, no process shall be carried out and no deliveries to be taken in or dispatched from the site in connection with the construction of the development hereby approved outside the hours of 8.00 am to 6.00 pm Monday to Friday, 8.00 am to 1pm Saturday and not on Sundays or Bank Holidays or any other time unless agreed in writing with the Local Planning Authority.

Reason

To protect the amenities of nearby residents and in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

The development shall be completed in strict accordance with the sound proofing measures shown on drawing nos. 020/0182 (23/06/2023) before the building is first brought into use and shall be retained as such thereafter unless otherwise approved in writing by the Local Planning Authority.

In addition to this, before the building is first occupied details and the location of an acoustic fence (of no less than 2.4m in height along the western boundary of the site adjoining the property currently known as the Mariners Pub) shall be submitted to and agreed in writing with the Local Planning Authority. The approved scheme shall be erected in full before the building is first occupied and shall be maintained and retained as such thereafter.

Prior to the development exceeding damp course level, details of mechanical ventilation

for all rooms to the western side of the building hereby approved shall be submitted to and approved in writing with the Local Planning Authority. The approved scheme shall be implemented in strict accordance with the agreed details prior to the building being first occupied and shall be retained as such thereafter, unless otherwise agreed in writing with the Local Planning Authority.

Reason

To protect residential amenity and the viability of a local facility in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(6) Condition

The windows to the bathrooms shall be glazed in obscure glass (Pilkington Glass level 5 of equivalent) and permanently fixed before the development is first occupied and shall be so retained thereafter.

Reason

To protect the residential amenity of future residents and users of the adjoining property and in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

The building hereby approved shall only be occupied by a maximum of 5 residents in the form of medium to long term supported communal living in conjunction with the adjoining Harbour Place/ Hope Street Night Shelter. The building shall not be used as a night shelter.

Reason

To maintain the amenities of adjoining occupiers and to meet a specific housing need in accordance with policies: 5 and 16 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(8) Condition

No works related to the development hereby approved shall begin until a Construction Management Plan (CMP) including Construction Traffic Management Plan (CTMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP/CTMP should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation of the CTMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. The proposed daily hours of operation during the construction period;
4. Details of on-site parking provision for construction related vehicles;
5. Details of on-site storage areas for materials, if required;
6. Details of expected delivery schedules and how this will be managed to eliminate

waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required;

7. Details of wheel washing facilities (locations, types etc.; and

8. Measures to reduce dust, noise and nuisance during construction.

In addition to this, there shall be no burning on site and no amplified music.

Once approved, the CMP shall be adhered to at all times during construction.

Reason

To ensure adequate access facilities are provided during construction and to maintain highway safety and to protect residential amenity and in accordance with policies: 5 and 38 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(9) Condition

Prior to the development exceeding damp course level, a detailed Flood Warning and Evacuation Plan shall be submitted to and agreed in writing with the Local Planning Authority. Once approved the plan shall be maintained and updated on at least a bi annual basis to ensure advice is up to date. The use shall only operate in strict accordance with the plan.

Reason

To reduce the risks from flooding and to allow adequate evacuation in the event of a catastrophic flood event and in accordance with policies: 5 and 33 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(10) Condition

The development shall be carried out in accordance with the submitted Flood Risk Assessment (FRA) (ref: RLC/1131/FRA01, compiled by Roy Lobley Consulting, dated 27 March 2023) and the following mitigation measures it details:

- The finished floor level shall be set no lower than 4.20m AOD (above Ordnance Datum).
- Flood resilience and resistance measures to be incorporated as stated and to a minimum height of 4.50m AOD.

These mitigation measures shall be fully implemented prior to occupation. The measures detailed above shall be retained and maintained thereafter throughout the lifetime of the development.

Reason

To reduce the risk of flooding to the proposed development and future occupants in accordance with policies: 5 and 33 the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(11) Condition

The development shall not be carried out except in complete accordance with the approved plans and specifications. The approved plans have drawing nos.

001/0812 Site Location and Block Plan

020/0182 (23/06/2023) Proposed Plan and Elevations

030/0182 Proposed Block Plan (Floor Layout Plan)

031/0182 Proposed Block Plan (Roof Plan)

Reason

To ensure the development is in accordance with the approved details and results in a satisfactory form of development and in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity, would not represent unreasonable risk from flooding and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies: 5, 16, 22, 33, 34, 36 and 38 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by increasing soundproofing to limit impact on local amenities and vice versa.

3 Informative

The applicant's attention is drawn to the fact that the requirements of the Party Wall Act may apply and you should seek advice from your agent or suitably qualified person.

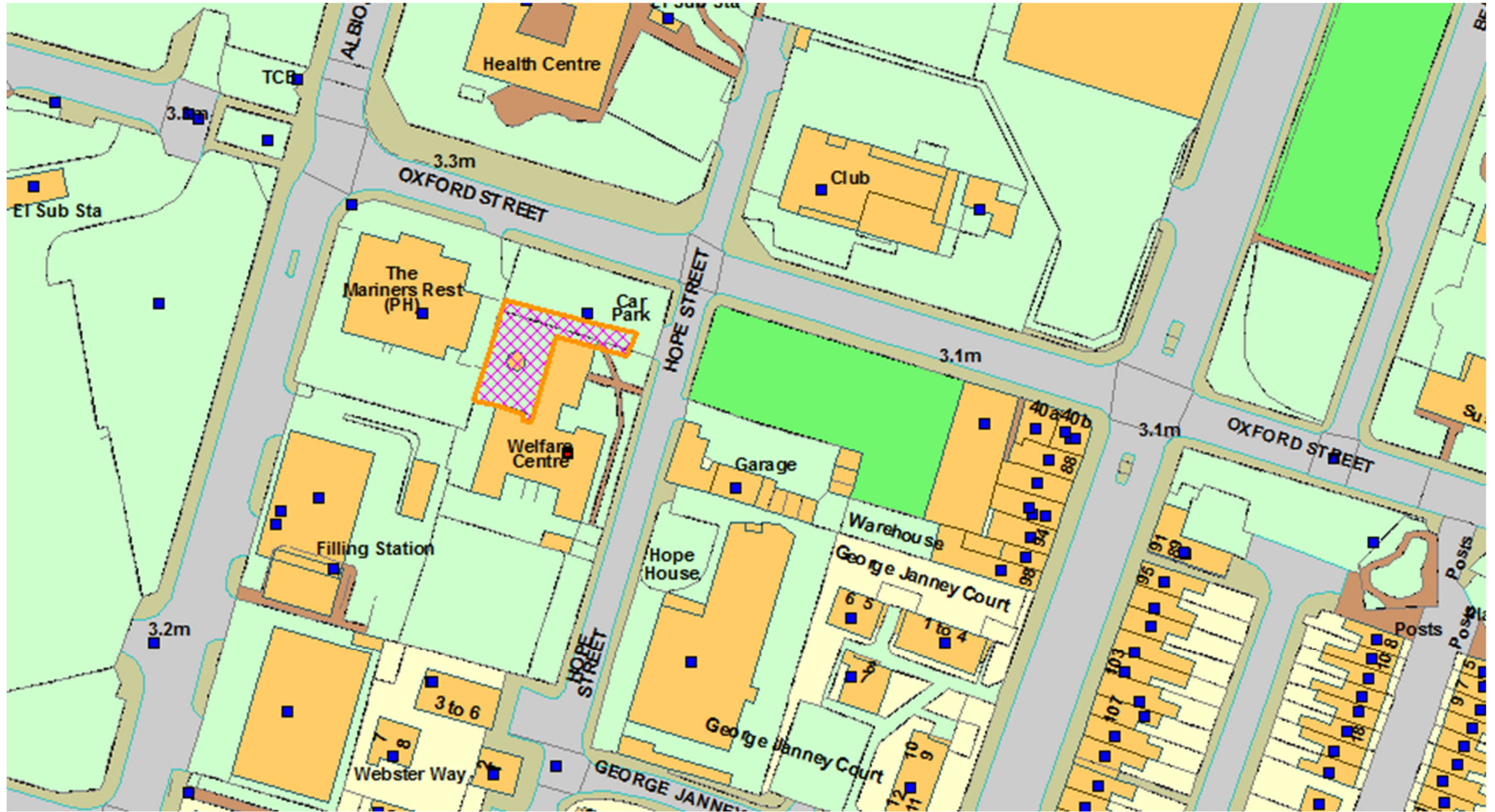
4 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

5 Informative

Please note the Environment Agency's informal advice including the recommendation that the future occupants phone Floodline on 0345 988 1188 to register for a flood warning, or visit <https://www.gov.uk/sign-up-for-flood-warnings>.

DM/0303/23/FUL – THE HOPE CENTRE, HOPE STREET, GRIMSBY



DM/0303/23/FUL – THE HOPE CENTRE, HOPE STREET, GRIMSBY



PLANNING COMMITTEE - 1st November 2023

ITEM: 5 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0600/23/FULA

APPLICATION TYPE: Accredited Agent - Homeholder application

APPLICATION SITE: 114 Humberston Fitties, Humberston, North East Lincolnshire, DN36 4EZ

PROPOSAL: Demolish rear extension and shed, erect single storey extension to rear, alter existing chimney, replace all windows and doors including relocated entrance, installation of decking to rear, re-clad existing walls and roof and erect detached garden store with decking

APPLICANT:

Mr and Mrs D. Stoker
2 Harvest Road
Wickersley
Rotherham
S66 2HX

AGENT:

Mr Matt Deakins
Ross Davy Associates
Pelham House
1 Grosvenor Street
Grimsby
North East Lincolnshire
DN32 0QH

DEPOSITED: 22nd June 2023

ACCEPTED: 26th June 2023

TARGET DATE: 21st August 2023

PUBLICITY EXPIRY: 15th September 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 20th July 2023

CASE OFFICER: Bethany Loring

PROPOSAL

The application seeks to demolish rear extension and shed, erect single storey extension to rear, alter existing chimney, replace all windows and doors including relocated entrance, installation of decking to rear, re-clad existing walls and roof and erect detached garden store with decking.

The application comes to committee following an objection from Humberston Village Council.

SITE

The proposal site is a small chalet which is located within the Humberston Fitties Chalet Park in Humberston. The site is located within the Humberston Fitties Conservation Area which is also covered by an Article 4. The property benefits from a paved area to the front and side with grassed areas that surrounds the whole chalet. Fencing denotes the site boundaries.

RELEVANT PLANNING HISTORY

DC/557/96/HUM - Carrying out rendering and pebble dashing to timber clad chalet.
Installation of disabled ramp - Approved with Conditions

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF12 - Achieving well designed places
NPPF14 - Climate, flooding & coastal change
NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries
PO22 - Good design in new developments
PO33 - Flood risk
PO39 - Conserve and enhance historic environ

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Drainage Team - Sustainable drainage condition. Details provided and now deemed acceptable.

Highways Team - Approval no conditions.

Heritage Officer - Concerns previously raised however discussions and amended plans

received. Proposal now deemed acceptable. Conditions for cement board sample.

Humberston Village Council - Objects due to size and scale of works with regard to existing plot and footprint.

Environment Agency - No comments to make. Not necessary to consult.

Trees and Woodlands - No objections.

Civic Society - Approves application.

Neighbour Representations

85 Humberston Fitties - Objects relating to land operator issues, chalet should be preserved due to its rarity.

2 The Cottages, Scrooby - Objects as should remain as existing within the conservation area.

201 Humberston Fitties - Supports application due to design and materials and retention of the existing chalet to the frontage.

APPRAISAL

Principle of Development

The application site is outside of the development area boundary (Policy 5) but within the resort area (Policy 12). It is also within the Humberston Fitties Conservation Area (Policy 39). The principle of development is therefore acceptable, providing that the proposal does not give rise to significant issues in terms of local amenity and that the design of the proposal is in accordance with Policies 5, 22, 33 and 39 of the North East Lincolnshire Local Plan and sections 12, 14 and 16 of the NPPF.

Design and Heritage

The application seeks to demolish rear extension and shed, erect single storey extension to rear, alter existing chimney, replace all windows and doors including relocated entrance, installation of decking to rear, reclad existing walls and roof and erect detached garden store with decking.

An existing rear extension would be demolished. The new single storey rear extension would project from the rear wall of the chalet by 4.7 metres covering a width of 6.2 metres. This would result in a reduction of the original footprint which has been historically extended. The eaves height would be 2.8 metres with a maximum overall height of 3.8 metres with a dual pitched roof incorporated into the design. The ridge

would sit lower than that of the existing resulting in this being entirely screened by the frontage. This addition would provide an open plan kitchen, dining and seating area following an internal reconfiguration of the chalet. In addition, an external covered terrace would adjoin the rear element to include steps and a timber balustrade. This would cover an area of around 10 sqm.

To the rear, an existing shed would be demolished and replaced with a new garden store and covered seating area to sit above the existing hardstanding. This would cover an area of 14sqm with a maximum height of 3 metres due to the single pitched roof which slopes higher to the frontage. This would be surrounded by decking and some hardstanding.

Other works include the alteration of the existing chimney, which was initially indicated to be removed and replaced, this would include removing the stone cladding and repairing the brickwork. Furthermore, the stack height would be increased by 0.5 metres. All the windows and doors would be replaced and would include alteration to proportions, size and some locations. These would be replaced in timber from uPVC which is welcomed. In addition, the existing entrance would be relocated from the rear to the side to include steps for levelled access. The pebble dash would be removed to be replaced with cement board to the existing chalet with vertical painted timber weather boarding to the extension. The roof would utilise steel profiled sheeting throughout. The use of timber cladding would ensure that the extension is read as an addition to the existing chalet. An air source heat pump would be installed to the side to be housed in an acoustic enclosure.

The proposed works and materials are supported within the Humberston Fitties Design Guide and compromise sympathetic materials within the Conservation Area. These would relate to the existing chalet and would not be considered to be harmful to the character of the area. There are some significant betterments included namely that of the replacement of the windows and doors from uPVC to timber. The Heritage Officer has commented to state that there are no objections following some negotiations and amendments with the inclusion of some conditions. The majority of the works would be positioned to the rear and these would mostly be screened. However, the works to the east elevation would be visible from the frontage and the street scene. Moreover, the nature of the works and the finishes proposed would not be considered as harmful in this instance. It is not unusual to see works of this nature in this area. The works are reflective of the Design Guide and therefore deemed to be acceptable. In terms of the area of built works there is a minor reduction in footprint.

It is therefore considered to be in accordance with Policies 5, 22, 33 and 39 of the North East Lincolnshire Local Plan and sections 12, 14 and 16 of the NPPF. The requirements under Section 72 of the Planning (Listed buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area also apply. In this case it is considered that the Conservation Area will be enhanced through the works.

Impact on Neighbouring Properties

The main impact would be to the adjoining neighbours at 112 and 116 Humberston Fitties.

The extension would be positioned to the rear and adjacent to the side elevations and rear garden areas of the neighbouring chalets. The extension would sit around 3.8 metres from the adjoining boundary, with 116 Humberston Fitties, and 5.8 metres from the side elevation of this neighbour at the closest points. The works are considered to be typical in this area and would not present any issues in relation to amenity.

In relation to other neighbours, it is considered to be sufficiently separated in order to prevent any negative impacts.

It is therefore considered that the works do not affect neighbouring chalets in terms of dominance, overlooking or overshadowing. No actual neighbour representations have been received.

The wider objections received are noted and reflect the retention of the existing chalet and its character in order to preserve and enhance the conservation area. This is addressed above.

It is therefore considered that the works do not have an unacceptable impact on amenity in this instance and would accord with Policies 5, 22, 33 and 39 of the North East Lincolnshire Local Plan and sections 12, 14 and 16 of the NPPF.

Flood Risk and Drainage

The site is within a flood risk area and a Flood Risk Assessment has been provided. The Drainage Officer had reviewed the details and a satisfactory scheme has been agreed through negotiations. The works involve no change to existing ground levels and in flood risk terms the proposal adheres to Policy 33 of North East Lincolnshire Local Plan 2013-2032.

CONCLUSION

In conclusion, it is considered that the development would enhance the Conservation Area and would not cause harm to the amenity of neighbouring chalets. It is therefore in accordance with Policies 5, 22, 33 and 39 of the North East Lincolnshire Local Plan and sections 12, 14 and 16 of the NPPF.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan and Proposed Site Plan - RD5407-02G

Existing and Proposed Floor Plans and Elevations - RD5407-01G

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with Policies 5 and 39 of the North East Lincolnshire Local Plan.

(3) Condition

The proposed development shall be constructed using materials as stated on drawing no. RD5407-01G unless otherwise first approved in writing by the Local Planning Authority.

Reason

To protect the appearance of the Conservation Area, to accord with Policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(4) Condition

The water butts shown on plan RD5407-02G shall be installed before the extension is brought into use unless an alternative is submitted to and approved in writing by the Local Planning Authority. The means for drainage shall thereafter be so retained.

Reason

In the interests of flood risk and drainage and to accord with Policy 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

Prior to installation, details of the cement boarding, in the form of a sample, shall be submitted to and approved in writing by the Local Planning Authority. Once approved, all works shall be undertaken in strict accordance with the approved details, unless otherwise agreed in writing by the Local Planning Authority.

Reason

To protect the appearance of the Conservation Area, to accord with Policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the Conservation Area character or local amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33 and 39.

2 Informative

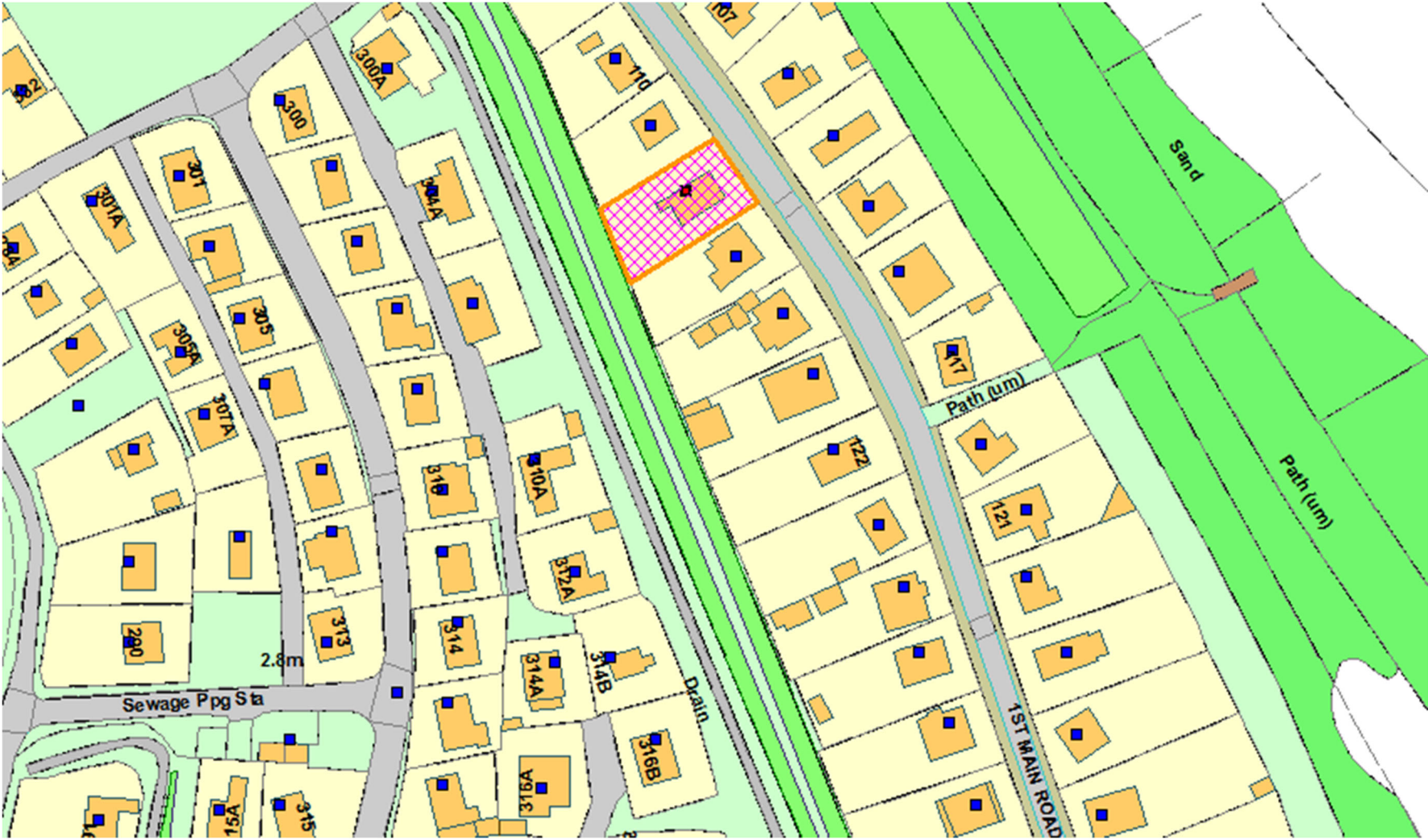
Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner by determining the application in a timely manner.

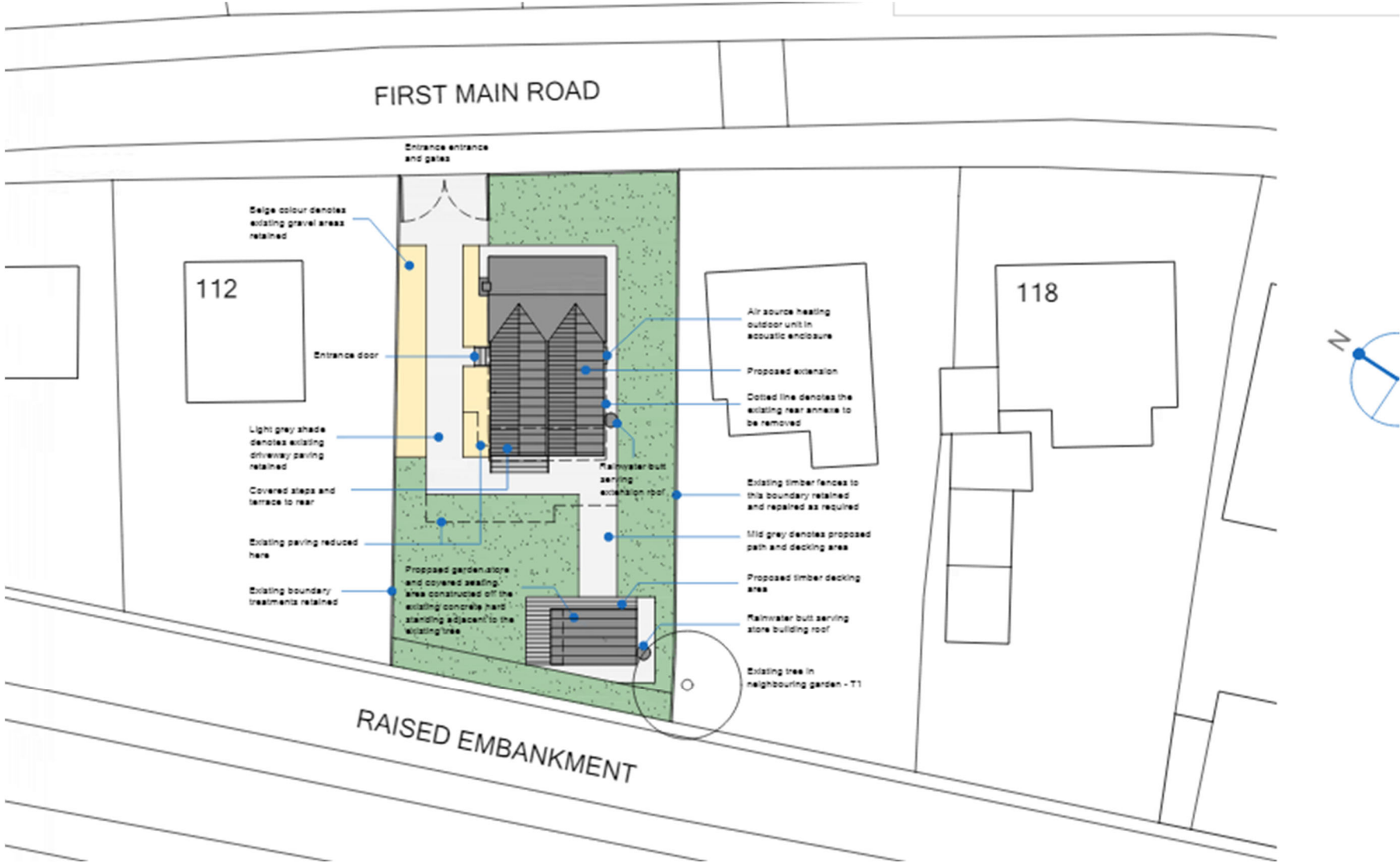
3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

DM/0600/23/FULA – 114 HUMBERSTON FITTIES, HUMBERSTON



DM/0600/23/FULA – 114 HUMBERSTON FITTIES, HUMBERSTON



PLANNING COMMITTEE - 1st November 2023

ITEM: 6 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0171/23/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: 49 - 51 Market Street, Cleethorpes, North East Lincolnshire, DN35 8LY

PROPOSAL: Change of use from C1 (hotel apartments) to C4 (HMO) at first and second floor and Change of use at ground floor from nightclub for use as 'Class E' - Shops, offices, cafes, restaurants

APPLICANT:

Mr William Drew
49 - 51 Market Street
Cleethorpes
North East Lincolnshire
DN35 8LY

AGENT:

Mr Daniel Hyde
Hyde Architecture Ltd
1 Westbrook Cottages
Station Road
North Thoresby
DN36 5QS

DEPOSITED: 28th February 2023

ACCEPTED: 15th March 2023

TARGET DATE: 10th May 2023

PUBLICITY EXPIRY: 12th August 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 20th April 2023

CASE OFFICER: Owen Toop

PROPOSAL

This proposal relates to a change of use from C1 (hotel apartments) to C4 (6 bed House in Multiple Occupation) at the first and second floors of 49-51 Market Street, Cleethorpes. It also relates to a change of use at ground floor from a nightclub for use under 'Class E' (Shops, offices, cafes, restaurants).

The application is brought to the attention of planning committee due to it being called in by Councillor Graham Reynolds.

SITE

The existing property, 49-51 Market Street is a nightclub at ground floor with a hotel at the first and second floors above. The property is located at Cleethorpes Market Place at its south-west corner. It is a three storey end of terrace building. There are projecting gables at its front elevation which extend beyond the line of the eaves. The entrance is raised from the current pavement level and accessed via steps.

The site benefits from additional land to the side which has been converted into an external seating/bar area.

The site is within the Cleethorpes Central Sea Front Conservation Area. Nearby uses include but are not limited to pubs, restaurants , shops and takeaways.

RELEVANT PLANNING HISTORY

DC/1155/04/CRB - Alterations to convert 12 bed guest house with bar/cafe to form 7 suite hotel with bar/restaurant. - Approved with conditions on Thursday 11th November 2004.

DC/1593/06/CRB - Change of use of existing ground floor restaurant to form lap dancing bar - Approved on 16th February 2007.

DC/1327/08/CRB - Retention of external bar and decking area - Approved Limited Period on Thursday 12th February 2009.

DC/177/10/CRB - Retention of external bar and decking area | 49-51 Market Street (Bar Babylon) Cleethorpes North East Lincolnshire DN35 8LY - Approved on 13th May 2010.

DM/0844/13/FUL - Retrospective application for an external bar and decking area - Approved with conditions on Friday 17th January 2014.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

- NPPF2 - Achieving sustainable development
- NPPF4 - Decision-making
- NPPF5 - Delivering a sufficient supply of homes
- NPPF7 - Ensuring the vitality of town centres
- NPPF12 - Achieving well designed places
- NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

- PO5 - Development boundaries
- PO15 - Housing mix
- PO17 - Housing density

PO22 - Good design in new developments
PO33 - Flood risk
PO36 - Promoting sustainable transport
PO38 - Parking
PO39 - Conserve and enhance historic environ
PO2 - The housing requirement

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Heritage - No input required.

Highways - No objections.

Environmental Health - Following initial concerns, a Noise Impact Assessment has been provided. As a result, the proposal is considered acceptable subject to the mitigation measures within the assessment and conditions recommended by the Environmental Health Officer.

Public Representation:

3 letters of support:

5 Newbury Avenue
35A St Peters Avenue
37A St Peters Avenue

broadly on the grounds of:

- supporting the town centre.

APPRAISAL

The material considerations are:

- 1) Principle of Development
- 2) Impact on Local Amenity

- 3) Impact on Amenity of Future Occupiers
- 4) Impact on Conservation Area/ Town Centre Aspirations

1) Principle of Development

The proposal is located within the development boundary of Cleethorpes as defined within Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) [NELLP] and relates to the change of use of the first and second floors from a hotel to a House in Multiple Occupation (HMO). It also relates to a change of use of the ground floor from a nightclub to a flexible planning use under Class E.

The proposal is located within Cleethorpes Town Centre and so Policy 23 of the NELLP applies. Within this Policy, residential accommodation above ground floor commercial units is supported in principle subject to the site specific material planning considerations. The Policy also supports ground floor commercial uses under what is now Class E of the Town and Country Planning (Use Classes) Order 1987 (as amended). The applicant has described this as 'shops, offices, cafes, restaurants', all of which are acceptable uses in principle at ground floor within the Cleethorpes Town Centre area, as stated within the Policy.

In principle, the proposal may be supported subject to there being no adverse impacts in relation to the site specific material planning considerations. In this case, the material considerations are in relation to the impacts on neighbouring and local amenity (Policy 5) and the impact of the proposal itself on the amenity of the future occupiers of the scheme. Lastly, the proposal is also within the Cleethorpes Central Sea Front Conservation Area and so Policies 5 and 39 of the NELLP apply. The requirements under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area are relevant and the proposal may only be supported where it accords to Policy 39 of the NELLP.

2) Impact on Local Amenity

As noted, the proposal is located within an area of mixed uses, including pubs, restaurants, shops, takeaways and residential uses. Policy 5 of the NELLP allows for an assessment on the impact to neighbouring land uses by reason of noise, air pollution, disturbance or visual intrusion.

Visually there would be no increase in the footprint of the building itself. As a result there are no impacts to consider with regards to massing from either the proposed HMO or Class E unit.

At the first floor and second floor, the existing hotel would be converted to a HMO. No alterations are proposed to take place other than replacement windows within the same openings and so there are no increased overlooking issues to consider. The impact on local amenity primarily would come from the comings and goings of the users, but given

that the proposal is located within a busy area within the town centre, the HMO is not expected to cause any adverse impacts in this regard, especially given the existing use as a hotel which had its own comings and goings. It should be noted that the highways department have considered the proposal and have no objections to raise in relation to the impact of the proposal on the local highway network. Public parking is available. Indeed, the proposal is within a sustainable location within Cleethorpes Town Centre.

A management plan for the bin storage and refuse collection of both elements of the proposal has been prepared but it subject to final details, these are conditioned.

The use of the ground floor as a flexible planning use (under Class E) has the potential to cause noise and disturbance issues to the surrounding area as well as to the future occupiers, but it is likely this would be much less than the existing use as a nightclub. The environmental health officer has reviewed the scheme both with regard to future occupiers and existing neighbours. Section 3 of this report will discuss impact on future occupiers. With regards to the Class E use and local amenity, it is considered that controls will be necessary to protect residential amenity, these conditions have been set out by the environmental health officer and form part of this recommendation.

Considering the above, and subject to conditions, the proposal accords with Policy 5 of the NELLP in this regard.

3) Impact on Amenity of Future Occupiers

The proposal seeks to change the use of the existing hotel into a 6 bed HMO. Given the immediate area which contains a mix of bars and restaurants supporting a night time economy, the environmental health officer raised concerns with the potential impact onto future occupants of the HMO. To respond to this, the applicant has provided a Noise Impact Assessment (NIA). This has evidenced existing noise levels at this location and this has informed the mitigation required for the scheme. The environmental health officer has reviewed the scheme and has no objections in principle, subject to measures being incorporated as defined within Appendix C of the NIA. Primarily this entails the installation of windows (to be permanently closed) and an alternative form of ventilation required. Due to the high noise levels and the nature of the external noise climate, it is recommended that the development is provided with a fully ducted mechanical ventilation system with heat recovery (MVHR) as per the results of the NIA. Cooling is also recommended to be provided through heat exchanger units. Details of these will need to be secured via condition in relation to their technical specifications to assess the impact on the surrounding area both visually and in terms of noise and disturbance. The provision of the mechanical ventilation in conjunction with comfort cooling will ensure that windows can remain closed to protect against the external noise climate without any loss of amenity due to inadequate ventilation or overheating.

Moreover, sound insulation will be required between the ground floor commercial unit and the first floor residential elements of the scheme along with restrictions on the hours of operation and deliveries which can be controlled through conditions.

With these measures in place, as well as controls for the bin storage of the premises, it is considered that the impact on the amenity of future occupiers is acceptable in accordance with Policy 5 of the NELLP.

4) Impact on Conservation Area/ Town Centre Aspirations

Visually, the only changes are as a result of required mitigation for the protection of amenity as per above. In principle the replacement of windows or addition of secondary glazing do not present any detrimental impacts, having discussed this with the Heritage Officer. The cooling units will need to be carefully positioned to protect visual and local amenity, and this may be secured via planning condition.

Having considered the above, the proposal accords with Policies 5, 22 and 39 of the NELLP.

CONCLUSION

This proposal relates to the change of use from C1 (hotel apartments) to C4 (HMO) at the first and second floors of 49-51 Market Street, Cleethorpes. It also relates to the change of use at ground floor from a nightclub for use as 'Class E' (Shops, offices, cafes, restaurants).

Having considered the scheme, there are no adverse impacts provided conditions are imposed and the proposal may be supported in accordance with Policies 2, 5, 15, 22, 23, 33, 36, 38 and 39 of the NELLP. It is recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

Prior to any occupation of the House in Multiple Occupation, final details shall be submitted to and agreed in writing by the Local Planning Authority for a scheme of replacement glazing or secondary glazing for the first and second floor windows together

with sound attenuating ventilators as acoustic measures to provide attenuation of externally generated sound in accordance with the details set out in the Noise Assessment.

Any new windows shall be timber framed. The type of window and acoustic measures shall be installed as approved prior to any occupation of the House in Multiple Occupation which shall be retained and maintained to the same specification thereafter, unless otherwise agreed in writing with the Local Planning Authority.

Reason

To maintain residential and local amenity and historic significance in accordance with Policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(3) Condition

Prior to any occupation or use of the development, a final site specific refuse disposal management plan, including details of: collection methods, operator and cleaning/ maintenance of refuse storage area, and its plan form, scale and finish shall be submitted to and approved in writing by the Local Planning Authority. The plan and the storage area shall be implemented in accordance with the approved scheme before any part of the House in Multiple Occupation is occupied and before the ground floor use commences. It shall be retained as such thereafter.

Reason

To maintain residential amenity and a standard of health in accordance with Policies 5 and 22 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(4) Condition

Prior to any occupation of the House in Multiple Occupation, final details of the acoustic insulation for the separating floor between the approved ground floor use and first floor of the House in Multiple Occupation shall be submitted to and agreed in writing by the Local Planning Authority and the separating floor shall achieve a minimum sound insulation performance of 60 dB DnT,w. Once approved, the insulation shall be installed as approved prior to any occupation of the House in Multiple Occupation and retained thereafter.

Reason

To protect the residential amenity of future occupiers by mitigating against sound produced from the ground floor Class E use and to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

Prior to any occupation of the House in Multiple Occupation, acoustic specifications of the mechanical ventilation to be used shall be submitted to and agreed in writing by the Local Planning Authority. Internal noise levels due to mechanical ventilation plant shall not exceed 26 dB (A) in bedrooms and 30 dB(A) in living rooms. Once approved, the ventilation shall be installed as agreed before any occupation of the House in Multiple Occupation occurs.

Reason

In the interests of protecting the amenity of future occupiers of the House in Multiple Occupation to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(6) Condition

Prior to any of the uses hereby permitted being occupied or brought into use details shall be submitted to and approved in writing by the Local Planning Authority of all external ventilation and extraction equipment including their acoustic performance and, where applicable, the method of odour control. Such a scheme as approved shall be implemented in its entirety prior to the uses being occupied or brought into use and shall thereafter be so retained.

Reason

To protect the amenities of nearby residents and to protect the visual amenity of the Cleethorpes Central Sea Front Conservation Area to accord with Policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

No activities in relation to the ground floor use hereby approved shall take place at the premises outside of the hours specified below:-

Monday to Sunday 7am to 11pm

Reason

The use of the premises outside of these hours would be detrimental to the residential amenity of the area by virtue of noise and disturbance and so this condition is imposed to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(8) Condition

Hours of deliveries to the premises shall only occur between the following times:

7am and 7pm Monday to Friday

8.30am to 6pm on Saturdays

10.00am and 16:00pm Sundays and Bank Holidays.

Reason

In the interests of residential amenity and to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(9) Condition

The development shall not be carried out except in complete accordance with the approved plans and specifications. The approved plans have drawing nos.

1443/00 1

1443/003 B

Reason

To ensure the development is in accordance with the approved details and results in a satisfactory form of development and in accordance with Policies 2, 5, 15, 22, 23, 36 and 39 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential and local amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular Policies 2, 5, 15, 22, 23, 36 and 39.

2 Added Value Statement

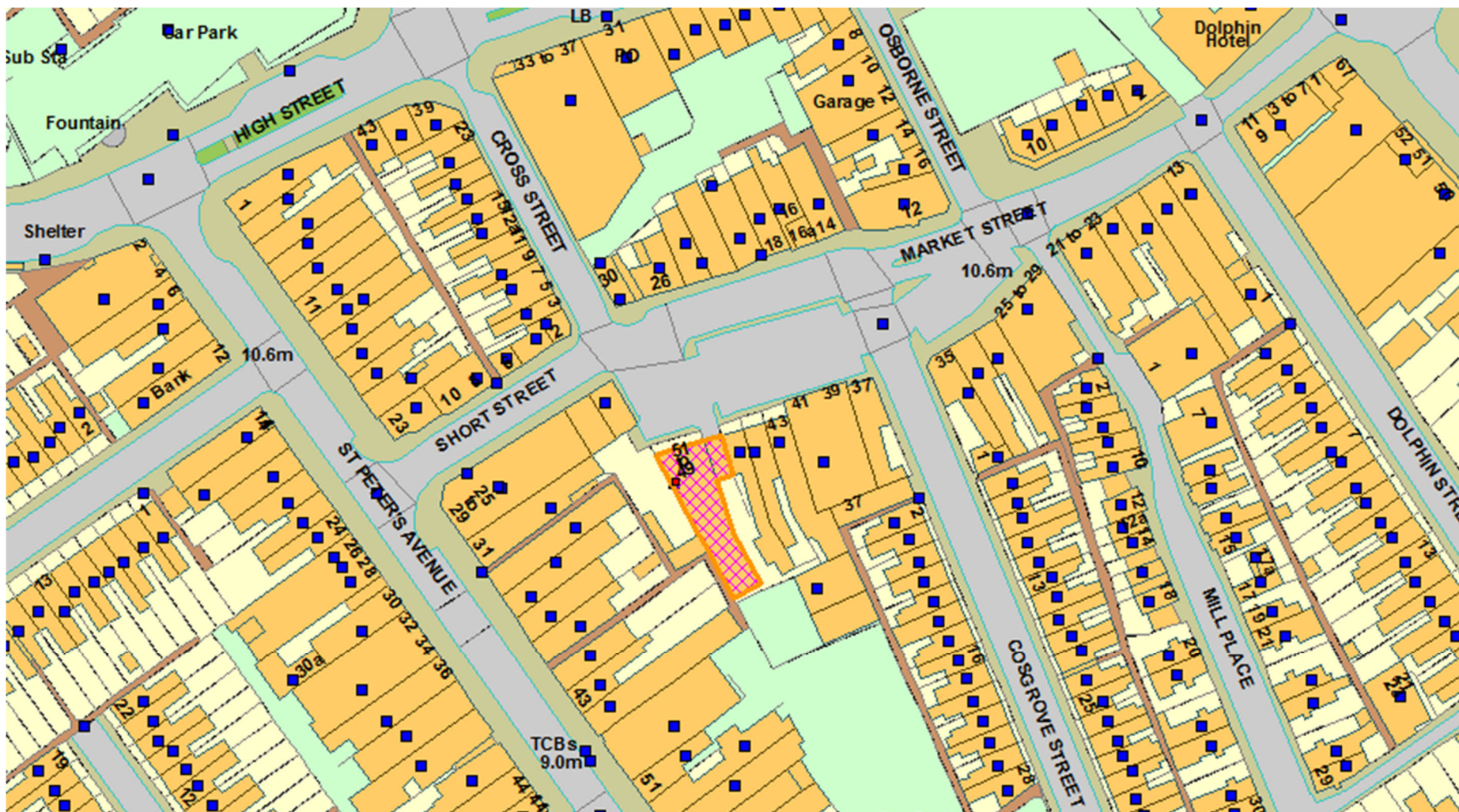
Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by receiving amended plans and documentation to address concerns, and applying conditions to protect visual and residential amenity.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

DM/0171/23/FUL – 49-51 MARKET STREET, CLEETHORPES



DM/0171/23/FUL – 49-51 MARKET STREET, CLEETHORPES



PLANNING COMMITTEE - 1st November 2023

ITEM: 7 **RECOMMENDATION: Approved Conditions and signing of S106**

APPLICATION No: DM/0927/22/OUT

APPLICATION TYPE: Outline Application

APPLICATION SITE: Land At The Former YMCA, Peaks Lane, Grimsby, North East Lincolnshire, DN32 9ET

PROPOSAL: Outline application to create a care village to include a residential care home for the elderly (up to 80 bedrooms), intermediate care facility (up to 30 beds), independent living accommodation (up to 10 units) and ancillary facilities (all use class C2) with all matters reserved

APPLICANT:
DBS2 LLP
C/o Yoden House
30 Yoden Way
Peterlee
SR8 1AL

AGENT:
Mr Jon Bayley
Keystone Architecture Ltd
Britannia House
High Street
Scunthorpe
DN15 6EA

DEPOSITED: 11th October 2022

ACCEPTED: 28th September 2023

TARGET DATE: 28th December 2023

PUBLICITY EXPIRY: 30th July 2023

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 16th June 2023

CASE OFFICER: Cheryl Jarvis

PROPOSAL

This application seeks outline planning permission with all matters reserved for a care village incorporating a residential care home for the elderly (up to 80 bedrooms), intermediate care facility (up to 30 beds), independent living accommodation (up to 10 units) and ancillary facilities (all use class C2). At this stage the existing building on site would be retained and is being considered for re-use but this does not form part of this submission.

The application is brought to planning committee as it is a departure from the NELLP,

which allocates the site for 'sport and recreation'.

SITE

The site comprises a rectangular parcel of land to the south west side of Peaks Lane in Grimsby. Formerly the home of the YMCA which has relocated its base to Freeman Street. The building and its associated site has been vacant now for a number of years, with the former sports hall and playing field. The main building is focused to the north of the site with TPO trees bordering the site's eastern boundary, beyond which is a footpath. The former playing field is to the south with open fields extending beyond the site boundary. To the west is Peaks Parkway. Harrison House is a care facility which sits beyond the northern boundary.

Peaks Lane over the years has established a number of care facilities along its length and this forms an inherent part of its character.

RELEVANT PLANNING HISTORY

DM/0396/16/FUL - Demolition of existing hostel and sports centre and construction of a new hostel with training facilities, boundary treatments, new parking and solar panels. Approved.

DM/1029/14/FUL - Demolition of the existing hostel and sports centre and construction of new hostel with training facilities, boundary treatments, widened access and solar panels. Approved.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

- NPPF5 - Delivering a sufficient supply of homes
- NPPF8 - Promoting healthy and safe communities
- NPPF9 - Promoting sustainable transport
- NPPF11 - Making effective use of land
- NPPF12 - Achieving well designed places
- NPPF14 - Climate, flooding & coastal change
- NPPF15 - Conserv. & enhance the natural environ.
- NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

- PO4 - Distribution of housing growth
- PO5 - Development boundaries
- PO6 - Infrastructure
- PO15 - Housing mix
- PO16 - Provision-elderly person's housing needs
- PO17 - Housing density

PO22 - Good design in new developments
PO32 - Energy and low carbon living
PO33 - Flood risk
PO34 - Water management
PO36 - Promoting sustainable transport
PO38 - Parking
PO39 - Conserve and enhance historic environ
PO41 - Biodiversity and Geodiversity
PO42 - Landscape
PO43 - Green space and recreation
PO3 - Settlement hierarchy

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Environment Agency - No comments to make.

Humberside Fire and Rescue - Standard advice provided on access and water supplies for firefighting.

Environmental Health - Recommends conditions for hours of construction, submission of a construction management plan, land quality, piling and air quality with informatives for asbestos and electrical vehicle charging.

Sport England - Are not a statutory consultee for the purposes of this application as the playing field has not be used in the last 5 years. Notwithstanding this objects on the basis that lack of use does not denote lack of demand and the field is still a planning field in planning terms. Sport England would consider withdrawing its objection if details of a replacement facility or alternative mitigation for the loss can be provided. Following this, details of a financial contribution to offset the loss of the grass pitch have been provided and Sport England have withdrawn their objection on the basis this is secured via legal agreement.

Head of Culture, Heritage, Leisure & Tourism, North East Lincolnshire Council - Considers it disappointing that the site is not set to be redeveloped for sport and leisure purposes, however, recognise that with an ageing population the development brings a wider benefit for the borough. Recommends a contribution to mitigate and invest in sport

and leisure elsewhere in the borough.

Highways -The access is acceptable and the levels of indicative parking are considered sufficient. In outline form the application is acceptable.

Tree Officer - No fundamental objections. A tree protection plan and an arboricultural method statement will be required. A final landscaping scheme will be required.

Drainage - Recommends a condition to secure full details of the sustainable urban drainage systems to be used across the site. Notes that existing ground levels should not be raised or surface water drainage problems may result.

Anglian Water - The foul drainage from this development is in the catchment of Pyewipe Water Recycling Centre that will have available capacity for these flows. Informatives on connections to their network are recommended. A condition is requested for full surface water drainage details.

Heritage Officer - Previous evaluations have been undertaken at the site. Recommends a scheme of archaeological works be provided.

Ecology - No objections, ecology can be adequately addressed. The Ecology Report provides a series of recommendations and these should be adhered to.

Other Representations:

5 Haigh Court - Neutral comment with concern raised over traffic onto Weelsby Road from Peaks Lane.

APPRAISAL

The material considerations are:

1. Principle of Development
2. Visual Amenity and Character
3. Impact on Neighbours
4. Drainage and Flood Risk
5. Highways and Parking
6. Heritage
7. Ecology
8. Other Matters

1. Principle of Development

The site is within the development area boundary for Grimsby in the NELLP 2018. Policies 3, 4 and 5 do not seek to preclude such uses (C2) in the urban area but under

Policy 5, the site-specific impacts of the development need to be assessed. These are as set out in this report.

Policy 6 seeks to support developments which create, expand or alter service facilities, including schools, health facilities and key infrastructure to meet the needs of existing and new communities. It is considered that the introduction of this care village would create additional service facilities to support the local community.

Policy 16 of the NELLP supports proposals which maximise independence and choice for older people and other people with specific needs which this proposal would serve. The site-specific tests of this policy will, along with Policy 5, be assessed in the remainder of this report.

The site is however identified as a sport and recreation area under Policy 43 of the NELLP. At the time of allocation, the site was in use by the YMCA as were its associated facilities and playing field. This policy seeks to safeguard against the loss of public or private spaces in recognition to their importance to health and wellbeing. Loss of these areas will be permitted whereby either they are surplus to sporting requirements or alternative provision is provided. It should be noted that the site has not been used as a playing field in the last 5 years, this means Sport England are not a statutory consultee - nevertheless, they are an important consultee on sport related matters such as this. It should also be noted that the Council's Playing Pitch Strategy 2020-2032 (PPS) does not identify the Peaks Lane site as part of its existing or future provision for sport.

The Head of Culture, Heritage, Leisure and Tourism for NELC raises no objections on the basis that the site is not within the Council's PPS and has not been used in over 5 years. Given the current demand for sport and football in particular, the Officer considers that a contribution is however appropriate to mitigate the loss of the grass pitch. This would be required via Policy 6 of the NELLP. The agent has confirmed their willingness to a commuted sum to support replacement provision and to secure this via a Section 106 agreement. This has been calculated by the Head of Culture, Heritage, Leisure and Tourism and equates to £52,197. Sport England originally objected to the proposal as no compensatory measures were provided either through direct reprovision or financial contribution. Following confirmation of the applicant's willingness to provide the above contribution, Sport England have withdrawn their objection on the proviso this is secured via legal agreement. The financial contribution to sport locally would meet with Sport England's requirements and NELC leisure comments thereby conforming to Policy 43, and also Policies 3, 4, 5, 6 and 16 of the NELLP 2018.

2. Visual Amenity and Character

Peaks Lane has somewhat established itself as an area for specialist care and accommodation over recent years. The proposal would be for a care village that would build on this concept, by providing a range of independent and specialist care accommodation options. Such an approach would therefore be in keeping with the existing area and complementary to it. It is not considered given the nature and differing

type of accommodation that the proposal would result in a proliferation of such facilities.

As an outline application, details are limited, but what the indicative layout shows is how the development, and its density could be achieved comfortably on-site taking account of the site constraints. A range of buildings are proposed around the existing structure on site and would not be dissimilar to other nearby establishments. It is likely landscaping can be retained and that appropriate mechanisms can be put in place to protect existing trees and enhance the wider setting of the site through new planting. The Tree Officer has no objection to this principle but advises on the requirements which apply at reserved matters.

In this regard the proposal would comply with Policies, 5, 15, 16, 17, 22 and 42 of the NELLP 2018 in principle.

3. Impact on Neighbours

The site's closest neighbours are Harrison House to the north and St Hughs Hospital to the northeast. Indicatively, buildings would be well spaced from immediate boundaries which has the potential to reduce any undue massing, overshadowing or overlooking issues.

There are no immediate neighbours to the east, south or west of the site.

No objections have been received with one neutral comment raising potential traffic increases; this will be addressed in the Highways section of this report.

Furthermore, the boundary with Peaks Parkway includes well established landscaping which would serve to assist in protecting the amenity of future occupants of these buildings. The indicative extent of open space and landscaping surrounding the building would also provide future amenity and indeed, a buffer to the existing building should it retain its current use. The buildings would be designed to Lifetime Homes Standards (as identified in the D & A) which is supported under Policy 16.

In regard to neighbouring amenity, it is considered that the proposal would not be unduly intensive in this setting, and subject to detail at the reserved matters stage could ensure appropriate levels of amenity for existing and future occupiers in accordance with Policy 5 of the NELLP 2018.

4. Drainage and Flood Risk

The site is within flood zone one and is therefore sequentially preferable for this type of development. The Environment Agency have confirmed they do not wish to provide any comments on the application.

The Drainage Officer has confirmed the need to agree a sustainable surface water drainage scheme before any development can commence, and this is echoed in the

comments from Anglian Water. Such details can be secured via planning condition.

Anglian Water have also confirmed that the existing used water and foul network have the capacity to receive the flows arising from this development.

Subject to conditions, the proposal would be acceptable on the grounds of flood risk and drainage and is in accordance with Policies 5, 33 and 34 of the NELLP 2018.

5. Highways and Parking

The existing access to the site from Peaks Lane is proposed to be utilised. In principle, there are no concerns from highways in regard to its use to serve the development. Details of tracking at the access and visibility have been provided. Further indicative details on parking have been provided at the request of the Highways Officer. The Highways Officer now considers the levels of parking at this stage to be proportionate to the level of development. Such details would still be required to be secured and agreed at reserved matters but provides comfort that adequate levels of parking are achievable.

The site has a historic use, and this would have generated a level of traffic with staff and visitors in the main. The Highways Officers are content that the level of development proposed in this location would not create an undue highway safety or amenity impacts on the wider network in terms of capacity or traffic generated.

Bus stops are noted at Weelsby Road, and the Transport Assessment considers the sites suitability to access services and transport. These are considered to be appropriate and would aid in providing alternative modes of travel to and from the site. A Travel Plan has already been provided, but this will need updating once an exact provider is determined.

As such the proposal is considered to accord with Policies 5, 16, 36 and 38 of the NELLP 2018 in regard to highways and parking.

6. Heritage

There are heritage assets in the wider vicinity of the site including Weelsby Hall, and the Weelsby Woods parkland to the northeast of the site. The Heritage Officer is satisfied that the proposal is well contained and would not adversely impact on the setting of nearby assets.

There have been previous archaeological excavations and the Heritage Officer requests a condition regarding an archaeological written scheme of investigation. This is recommended.

Subject to a condition securing a written scheme of investigation, the proposal would accord with Policies 5 and 39 of the NELLP 2018 in relation to heritage.

7. Ecology

A Preliminary Ecological Report has been provided. It sets out a series of recommendations and best practise and recommends that an Environmental Enhancement Plan be prepared. The conversion of the existing building would require further survey work, but this does not form part of this application. Subject to conditions securing compliance with the details set out in the report and the submission of an enhancement plan, ecology can be protected and enhanced and there are no objections on ecological grounds from the Ecology Officer in accordance with Policies 5 and 41 of the NELLP 2018.

8. Other Matters

The submitted Air Quality Assessment recommends mitigation measures during the construction phase. As such, a Construction Management Plan has been recommended which picks up on the necessary mitigation requirements highlighted in the report.

No wider S106 contributions under Policy 6 of the NELLP 2018 are required on the basis that this proposal relates to C2 uses only.

CONCLUSION

The application proposes accommodation to meet a specific need within the development boundary for Grimsby. Whilst only in outline form it demonstrates that the level of development can be accommodated for on the site and that it would unlikely result in harm to the area, to neighbours or to the environment, subject to conditions and detail at reserved matters.

The application is therefore recommended for approval subject to the signing of a section 106 agreement in relation to the replacement playing field provision. It is therefore recommended that the decision be delegated to the Assistant Director for Regeneration to allow completion of this.

RECOMMENDATION

Approved Conditions and signing of S106 with the decision delegated to the Director of Economy and Growth - Place

(1) Condition

Applications for approval of the matters referred to in Condition 2 (known as reserved matters) shall be made within three years of the date of this permission and the development to which it relates shall begin no later than whichever is the later of the

following dates:

- (a) three years from the date of the grant of outline planning permission
- (b) two years from the final approval of the reserved matters, or in the case of approval on different dates, final approval of the last such matter to be approved.

Reason

This permission is in outline only and the information is necessary for consideration of the detailed proposal as required by S.92 of the Town and Country Planning Act 1990.

(2) Condition

This permission hereby granted is in outline form only and no development shall begin until full details of the following reserved matters have been submitted to and approved by the Local Planning Authority:

- (a) the layout, scale and appearance of the development
- (b) means of access to the site
- (c) a landscaping scheme for the site including details of existing trees, hedges and planting to be retained and new planting, this shall include a tree protection plan and arboricultural method statement

Reason

This permission is in outline only and the information is necessary for consideration of the detailed proposal as required by S.92 of the Town and Country Planning Act 1990.

(3) Condition

No development shall commence until a scheme for the provision and maintenance of surface and foul water drainage has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be implemented before any occupation occurs and it shall be maintained in accordance with the approved details thereafter.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal and in accordance with Policies 5, 33 and 34 of the North East Lincolnshire Local Plan 2018.

(4) Condition

No development shall take place until the applicant has:-

- (i) submitted a Written Scheme of Investigation or Specification for Works, for a programme of archaeological work, to the Local Planning Authority.
- (ii) received written approval of the Written Scheme of Investigation for a programme of archaeological work from the Local Planning Authority.

(iii) implemented, or secured implementation of the Written Scheme of Investigation for a programme of archaeological work.

Use of the development shall not take place until the applicant has:-

(iv) published, or secured the publishing of the findings resulting from the programme of archaeological work within a suitable media.

(v) deposited, or secured the deposition of the resulting archive from the programme of archaeological work with an appropriate organisation.

Reason

In the interests of heritage protection and in accordance with Policies 5 and 39 of the North East Lincolnshire Local Plan 2018.

(5) Condition

No development shall take place until a Construction Management and Traffic Management Plan (CTMP) has been submitted to and approved in writing by the Local Planning Authority. The CTMP shall include details of:

1. Contact details of the person with responsibility for the implementation of the CTMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. Details of on-site parking provision for construction related vehicles;
4. Details of on-site storage areas for materials, if required;
5. Details of expected delivery schedules and how this will be managed to eliminate waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required;
6. Details of wheel washing facilities (locations, types etc.); and
7. The control measures that will be employed to control the impact of noise, vibration and dust during the construction phase.

The approved CTMP and control measures it contains shall be implemented throughout the construction phase. The noise assessment must comply with the requirements of British Standard 5228 unless otherwise approved and the measures shall build upon the best practice measures set out in the Air Quality Assessment. No burning of demolition/construction waste material shall take place on site. The measures shall be applied as agreed.

Reason

In the interests of public health, to protect the amenities of nearby residents, to ensure suitable access and for highway safety reasons and in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(6) Condition

If during development contamination not previously considered is identified, then the

Local Planning Authority shall be notified immediately, and no further work shall be carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. Works shall then proceed in strict accordance with the approved method statement.

Reason

To ensure that any previously unconsidered contamination is dealt with appropriately and in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(7) Condition

Construction of the development shall accord with the recommendations and best practice set out in the Preliminary Ecology Report by Crow Ecology. Before any occupation occurs an Ecological Enhancement Management Plan and implementation plan shall be submitted to and approved in writing by the Local Planning Authority. Once approved it shall be implemented as approved.

Reason

To protect and enhance ecology and biodiversity and to accord with Policies 5 and 41 of the North East Lincolnshire Local Plan 2018.

(8) Condition

Prior to any occupation on site, a final Travel Plan which builds on the principles set out in the Travel Plan (ADC3151-RP-B V2) shall be submitted to and approved in writing by the Local Planning Authority. Once approved, the Travel Plan shall be implemented in line with its terms.

Reason

In the interests of interests of sustainable travel and in accordance with Policies 5, 16 and 36 of the North East Lincolnshire Local Plan 2018.

(9) Condition

Prior to any occupation on site, an updated Air Quality Assessment for the operational phase shall be submitted to and approved in writing by the Local Planning Authority. Where mitigation is required it shall detail the required mitigation and a schedule for implementation. Once approved, it shall be implemented in line with its terms.

Reason

In the interests of interests of air quality and in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(10) Condition

No demolition or construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents and in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(11) Condition

Prior to the commencement of construction works on site detailed specifications of the type of piling/ground improvement/foundations to be used to support the buildings/structures shall be submitted to the Local Planning Authority for approval. Included shall be a scheme to mitigate the effects of the design with particular regard to noise and vibration to the surrounding premises and pollution to the underlying chalk aquifer. The foundations shall be carried out/constructed in accordance with the approved details unless variations are approved in writing by the Local Planning Authority.

Reason

To protect the amenities of nearby residents and to ensure the integrity of the underlying aquifer is not compromised and in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(12) Condition

Prior to the commencement of any demolition works a detailed method statement outlining the method of demolition and measures to prevent pollution to the environment and nuisance from noise and dust to surrounding occupiers shall be submitted in writing to the Local Planning Authority for its written approval. Demolition shall only thereafter be undertaken in accordance with the approved method statement.

Reason

In the interests of public health and to protect the amenities of nearby residents in accordance with Policy 5 of the North East Lincolnshire Local Plan 2018.

(13) Condition

The development is approved in accordance with the following plans:

Topographical Detail - 0800-10-001

Site Location Plan - 1602.03 A

Proposed Site Layout- 1602.04 D

Reason

For the avoidance of doubt and in the interests of proper planning and in accordance with

Policies set out in the North East Lincolnshire Local Plan 2018.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would create a care village which would cater for specific types of accommodation in the borough. It would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 3, 4, 5, 6, 12, 16, 17, 22, 33, 34, 36, 38, 39, 42 and 43.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by securing further information in relation to the application and clarifying the nature of the proposal.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

4 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

5 Informative

Where there may be the possibility of asbestos the applicant, developer, and future occupier(s) are reminded of the duties under Control of Asbestos Regulations 2012, or the more general duties under the Health and Safety at Work Act 1974 in relation to any presence of asbestos in the building(s). The Health and Safety Executive can be contacted for further advice and a copy of the Approved Code of Practice is available from their website at <http://www.hse.gov.uk/pubns/books/l143.htm>.

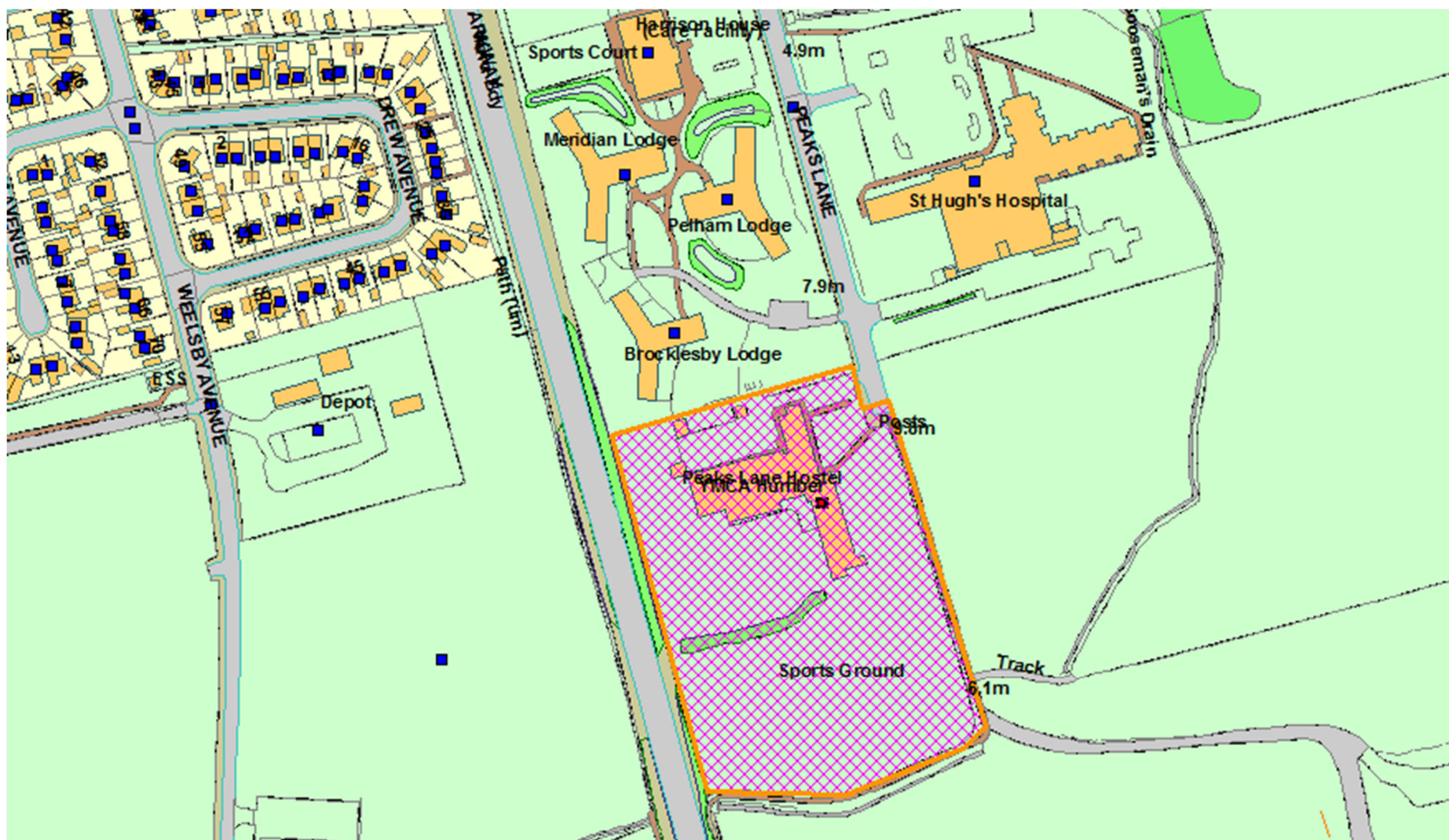
6 Informative

Please note the informative advice from Humberside Fire and Rescue and Anglian Water, the details of which can be viewed on the council website.

7 Informative

In accordance with Approved Document S of the Building Regulations you will be required to install electric vehicle charging points as part of the development.

DM/0927/22/OUT – PEAKS LANE, GRIMSBY



DM/0927/22/OUT – PEAKS LANE, GRIMSBY



PLANNING COMMITTEE - 1st November 2023

ITEM: 8 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0300/23/FUL

APPLICATION TYPE: Full Application

**APPLICATION SITE: 33 Humberston Avenue, Humberston, North East
Lincolnshire, DN36 4SW**

**PROPOSAL: Variation application of condition 8 (Approved Plans) as granted on
DM/0858/16/FUL to amend the layout and appearance of dwellings**

APPLICANT:

Mrs Alora Pungi
33 Humberston Avenue
Humberston
North East Lincolnshire
DN36 4SW

AGENT:

Mr Richard Likupe
Palmleaf Architects
10 Tinley Close
Cottingham
Hull
HU16 4EN

DEPOSITED: 3rd April 2023

ACCEPTED: 3rd April 2023

TARGET DATE: 29th May 2023

PUBLICITY EXPIRY: 4th October 2023

AGREED EXTENSION OF TIME DATE:

**CONSULTATION EXPIRY: 23rd September
2023**

CASE OFFICER: Bethany Loring

PROPOSAL

This application seeks to vary condition 8 pursuant to DM/0858/16/FUL, which was for the demolition of the existing garage and outbuilding, removal of the existing tennis court and erection of two detached dwellings to include new access road and garages and the installation of rooflights. Condition 8 relates to the approved plans and the amendments specifically relate to an amended layout, position and appearance of the dwellings.

The application is brought to Planning Committee due to an objection from Humberston Village Council and as a result of the number of objections received from neighbours.

SITE

The site comprises a rectangular parcel of land to the north of Humberston Avenue. The site sits to the rear of 33 Humberston Avenue which is owned by the applicant.

Humberston Avenue is a street of residential character. Properties are mostly large detached dwellings set within mature, spacious gardens. Trees are a particular feature especially along the street frontage. Infill development is evident and this is mostly to the south of the road, although some more recent development has occurred to the north.

RELEVANT PLANNING HISTORY

08/89/0814 - Outline to erect one dwelling and garage - Refused.

DC/1443/03/HUM - Erect detached dwelling with garage - Refused.

DM/0858/16/FUL - Demolish existing outbuildings and erect two detached dwellings to include new access and garages - Approved.

DM/0798/17/CND - Details in Discharge of Conditions 2 (Foul Drainage), 5 (Construction Management Plan), 6 (Plans of Access) and 7 (Landscaping and TPM) pursuant to application DM/0858/16/FUL (Demolish existing garage and outbuilding, remove existing tennis court and erect two detached dwellings to include new access road and garages and the installation of rooflights) - Conditions Complied With.

DM/0633/19/FUL - Erect four dwellings with detached garages to include associated parking, landscaping and access - Refused.

DM/1111/21/FUL - Partial demolition and rebuild of existing garages to create a dwelling with associated works to include infill and front extension and new access (Amended Description and Plans received 22nd March 2022) - Withdrawn.

DM/0775/22/FUL - Partial demolition and rebuild of existing garages to create a dwelling with associated works to include infill and front extension with access taken through 33 Humberston Avenue - Withdrawn.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (2023)

NPPF5 - Delivering a sufficient supply of homes

NPPF11 - Making effective use of land

NPPF12 - Achieving well designed places

NPPF14 - Climate, flooding & coastal change

NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO2 - The housing requirement
PO5 - Development boundaries
PO15 - Housing mix
PO17 - Housing density
PO22 - Good design in new developments
PO33 - Flood risk
PO34 - Water management
PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Drainage Team - Drainage details agreed on original and not deemed to change as a result of this amendment.

Highways Team - CTMP condition.

Environment Team - Hours of construction/demolition, CMP and EV charging conditions/informatives.

Trees and Woodlands - No further comments to raise from the previous application.

Heritage Officer - No input required.

Humberston Village Council - Objects based on concerns relating to the impacts to the neighbour and should be as per original approval.

Neighbour Representations

The following neighbours have objected broadly on the grounds of impact to residential amenity, intensification, impact to privacy, relationship to boundary and dwelling, loss of light, potential for further development, construction traffic and access, noise and disturbance, contrary to policy, impacts to wildlife and question over material start prior to expiry of original permission.

25 Humberston Avenue

27 Humberston Avenue
29 Humberston Avenue
31B Humberston Avenue
35 Humberston Avenue
39A Humberston Avenue

APPRAISAL

Material Considerations

Principle of Development

The application seeks to vary condition 8 (approved plans) of the earlier approval to allow for changes to the layout and appearance of the dwellings.

The principle of the development has already been established under the original permission (which is extant) and the considerations of this application are merely those relating to the impacts arising from the proposed amendments.

Revisions and Design

Visually, the proposal would alter the design concept previously approved.

Plot 1 has been amended following concerns raised. The plot itself has been located towards the rear of the overall site by around 13 metres. The design has also been amended however the scale of a two-storey development has been retained. Whilst the design is different to the original approval it is not considered to be a significant change. The amendment initially included a first-floor side window however in order to prevent overlooking, this was removed, and a new opening included to the rear instead which would face into the host garden area. The garage included a pitched roof however this has been changed to a hipped roof and lowered in an attempt to address neighbours' concerns. Visually these would have limited impacts.

Plot 2 has been amended with the garage now becoming adjoined to the side wall of the dwelling and now includes a green wall to the side elevation. Furthermore, the plot would be relocated on the site with the dwelling being moved further east.

The access drive has also been altered following the removal of the turning area and detached garages to become integral to the plots themselves. This will follow the same line as approved along the eastern boundary however would be reduced in overall expanse with this separating to provide individual drives and access to the plot garages. In addition, this would be pulled slightly away from the boundary with the neighbour at 35 Humberston Avenue than what was previously approved. The access would be widened in areas, specifically to the frontage with the material altered from gravel to tarmac.

The majority of the design features would remain as a result of the revisions. The green

wall elevation, to plot 2, would add some interest to the elevation whilst providing some environmental benefits. The change to the garages to attach to the dwellings would not present any negative impacts in relation to the design and is a common design concept in residential areas.

Having regard to the above, the amendment is acceptable under policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) in relation to design.

Impact to Neighbours

The relocation of the plots would alter the view and arrangement with the neighbours specifically to 29 and 35 Humberston Avenue.

Plot 1 would sit just under 13 metres from the neighbour at 29 Humberston Avenue, with the garage specifically, at the closest point. The distance from the boundary to the sidewall of the property would be around 8.6 metres sitting at two stories. The garage sits closest to the neighbour and boundary which would be single storey only. The neighbour has provided a number of objections through the process mostly relating to the close proximity of the works, its massing, adverse impact on light and shadowing, overlooking and negative impacts in general to their residential amenity. It should be noted the plans have evolved through the process and amendments have been secured to alleviate impacts to this neighbour. These included the removal of a first-floor side window, adjacent to the neighbour, a reduction in the height of the garage to 4.6 metres and the inclusion of a hipped roof to its design which would fall away from the neighbour. It is felt that these changes would sufficiently mitigate any undue impacts to the neighbour in respect of light, massing, loss of privacy and overlooking. Furthermore, a Shadow Study has been undertaken and submitted as part of the planning process which demonstrates that there would be little to no impact to the neighbour as a result of the physical presence of the development. As a result, it is considered that whilst the revisions would alter the design and position of the plot, these changes would not present an unacceptable arrangement to their residential amenity in this instance and is therefore acceptable.

Plot 2 would be adjacent to the rear garden of 35 Humberston Avenue but would be sufficiently separated from the dwelling itself to ensure no adverse massing, overshadowing, overlooking or loss of privacy issues. The access road is extensive from Humberston Avenue upto the plots and along the boundary, however this element has already been deemed acceptable under the original approval.

Therefore, it is considered that the revisions to the positioning and design of the plots would not present an unacceptable arrangement with neighbours. It is therefore considered to be in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) in regards to residential amenity.

Highways and Parking

The revisions also include changes to the access road into the site due to the changes relating to the garages and parking provision. The majority of the access would remain as approved however this would remove the detached garages and central turning to allow for a 'split' to each of the plots and the integral garages. As stated previously, some of the access to the frontage would be widened.

The Highways Officer has reviewed the details and confirmed that the application is acceptable however requests a Construction Traffic Management Plan condition which has been included. The parking provision has not altered in terms of number and only in terms of location.

It is therefore considered to be in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018) in relation to highways and parking.

CONCLUSION

This application seeks to modify an earlier approval, which sought to demolish an existing garage and outbuilding, remove an existing tennis court and erect two detached dwellings to include new access road and garages and the installation of rooflights. The modifications proposed in this application are considered to be of an acceptable scale and nature and do not create significant additional impacts to neighbours. The application is therefore recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

No development above base course level shall commence until an updated scheme for the provision and implementation of foul drainage works has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be completed prior to occupation of any dwelling and maintained for the lifetime of the development.

Reason

To ensure adequate drainage to serve the development in accordance with policies 5, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(2) Condition

A soakaway for both dwellings shall be implemented and connected to all downpipes available for use prior to the residential occupation of any dwelling. It shall be retained

thereafter unless, otherwise submitted to and agreed in writing by the Local Planning Authority.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with policies 5, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

No construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

No construction works related to the development hereby approved shall begin until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation of the CMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. The proposed daily hours of operation during the construction period;
4. Details of on-site parking provision for construction related vehicles;
5. Details of on-site storage areas for materials and any construction compound;
6. Details of expected delivery schedules and how this will be managed to eliminate waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required;
7. Details of wheel washing facilities (locations, types etc.);
8. Means of suppressing dust and noise;
9. All construction traffic and deliveries shall access the site from the existing front access at 33 Humberston Avenue only.

Once approved, the CMP shall be adhered to at all times during construction.

Reason

To ensure adequate access facilities are provided during construction, and for highway safety reasons and to protect residential amenity to accord with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

Construction of the access shall not begin until details showing the location, layout, design and method of construction of any new or altered vehicular access, parking and manoeuvring space, including any necessary piping or culverting of any ditch or watercourse, have been submitted to and approved in writing by the Local Planning Authority, before any of the development hereby permitted is brought into use the vehicular access, parking and manoeuvring space shall be constructed in accordance with those approved details and shall be retained thereafter.

Reason

To ensure adequate parking and turning facilities are provided within the site for highway safety reasons in accordance with policies 5 and 38 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(6) Condition

Prior to construction works commencing a full Arboricultural Method Statement (AMS) incorporating a tree constraints plan, tree protection plan and proposed planting details shall be submitted to and approved in writing by the Local Planning Authority. The tree constraints plan and tree protection measures shall be implemented prior to construction commencing and shall be retained throughout the construction phase. The proposed planting shall be implemented prior to any occupation and any tree or hedge proposed or proposed to be retained which fails, dies or becomes damaged within 10 years from the date of this permission shall be replaced on a like for like basis.

Reason

This condition is imposed as the application involves a loss of trees in order to provide the access, a number of trees would remain and an intricate landscaping scheme would assist in integrating the development with its surroundings in accordance with policies 5 and 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

No dwelling shall be occupied until a scheme for water re-use to achieve an efficiency standard of 110 litres per person per day has been submitted to and approved in writing by the Local Planning Authority. Once approved, the dwellings shall be occupied in strict accordance with the agreed details.

Reason

In the interests of efficient water management and to accord with policies 5 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(8) Condition

The development shall be carried out in accordance with the following plans:

Block Plan - 02.319.16 REV G
Proposed Plans and Elevations for Plot 1 - 03.319.16 REV F
Proposed Plans and Elevations for Plot 2 - 04.319.16 C

As approved under DM/0858/16/FUL;

Site Location Plan - 01.319.16 Rev A

Reason

In the interests of proper planning and to accord with the policies of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The amended proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 2, 5, 15, 17, 22, 33, 34, 38 and 42.

2 Informative

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner by determining the application in a timely manner.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 326289 - Option 2).

4 Informative

For the avoidance of doubt this permission does not permit the raising of ground levels or permit water run-off onto the public highway.

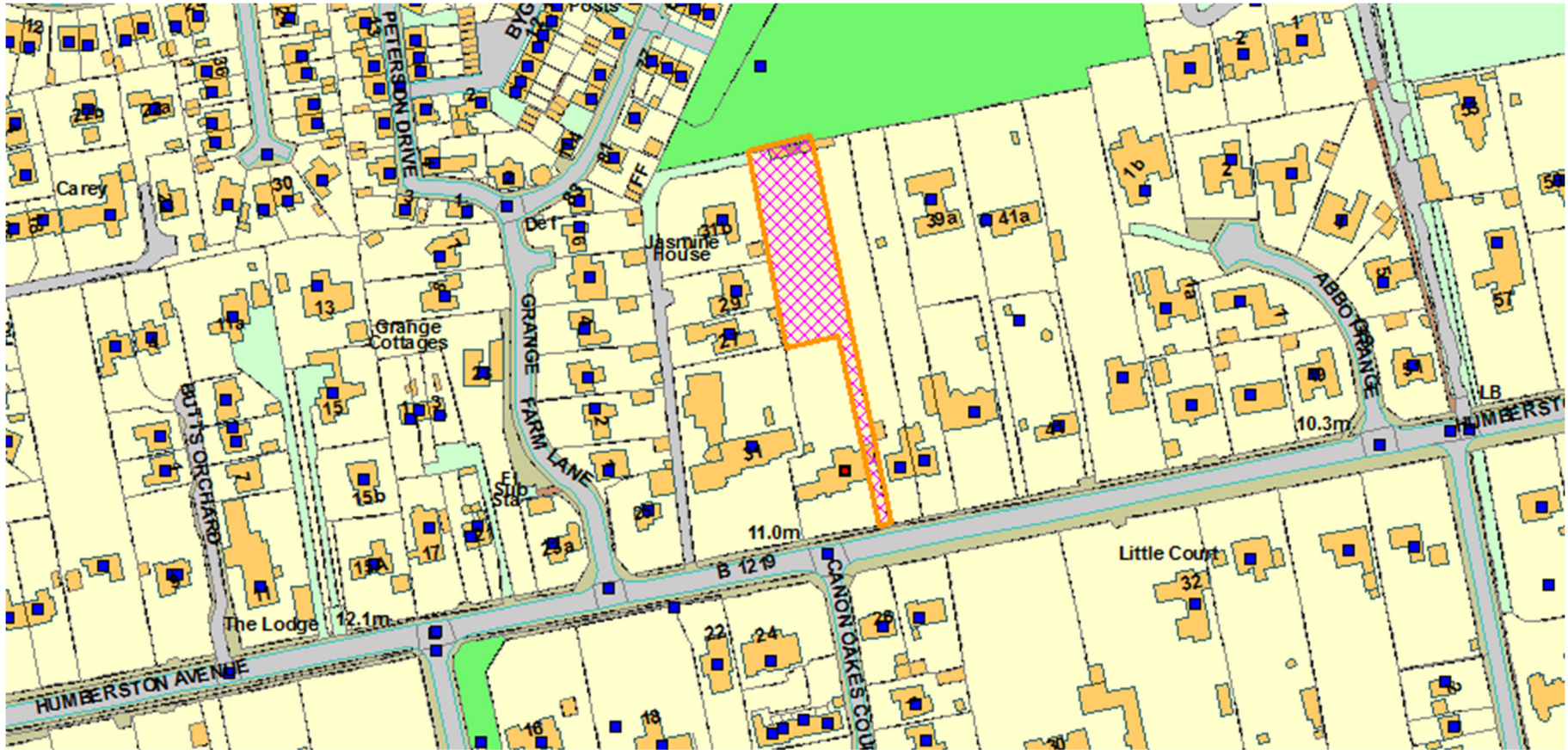
5 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

6 Informative

In accordance with Approved Document S of the Building Regulations you will be required to install electric vehicle charging points as part of the development.

DM/0300/23/FUL – 33 HUMBERSTON AVENUE, HUMBERSTON



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